

# Staff Summary Report

Development Review Commission Date: **08/14/07**

Agenda Item Number:   5  

**SUBJECT:** Hold a public meeting for Development Plan Review and a Preliminary Subdivision Plat for PIER 202 located at 1200 East Rio Salado Parkway.

**DOCUMENT NAME:** DRCr\_Pier202\_081407

**PLANNED DEVELOPMENT (0406)**

**SUPPORTING DOCS:** Yes

**COMMENTS:** Request for **PIER 202 (PL060548)** (City of Tempe, property owner; Brad Gorman, applicant) for the future development of nine (9) new buildings for commercial and residential on +/-27.4 acres, located at 1200 East Rio Salado Parkway, in the MU-4, Mixed-Use High Density District, including the following:

**DPR07156** – Development Plan Review for landscape plans only.

**SBD07024** – Preliminary Subdivision Plat consisting of nine (9) lots on +/-27.4 gross acres.

**PREPARED BY:** Ryan Levesque, Senior Planner (480-858-2393)

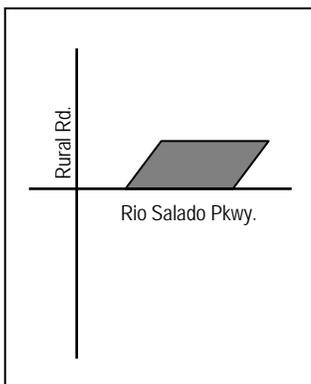
**REVIEWED BY:** Lisa Collins, Planning Director (480-350-8989) 

**LEGAL REVIEW BY:** N/A

**FISCAL NOTE:** N/A

**RECOMMENDATION:** Staff – Approval, subject to conditions (1-14).

**ADDITIONAL INFO:**



Gross site area    27.38 acres  
Building area     approx. 3,693,400 s.f. (9 total buildings)

- PAGES:**
1. List of Attachments
  2. Comments / Reason for Approval
  - 3-5. Conditions of Approval
  6. History & Facts / Zoning & Development Code Reference

- ATTACHMENTS:**
1. Location Map
  2. Aerial Photo(s)
  3. Letter of Explanation
  - 4-6. Preliminary Subdivision Plat
  - 7-32. Landscape Plans

**COMMENTS:**

The applicant is requesting approval for a Development Plan Review for landscape and a Preliminary Subdivision Plat for the future development of nine buildings on 27.4 acres, which will include residential condominiums, commercial office, restaurant, retail and hotel, including below and above grade parking. This site is located just east of Rural Road on the Rio Salado Parkway. The property is directly adjacent to Tempe Town Lake to the north and the ASU Karsten Golf Course to the west. The overall project will be developed in three phases.

The request before you today is part of a bond improvement district that will assist in construction of infrastructure improvements within the public right-of-ways located on this project. This includes two components to the request. One portion of the request is the subdivision plat, dedicating certain right-of-ways and easements for necessary infrastructure and public access, and subdividing the existing land into nine (9) lots for future development, including a tract. Each lot will have dedicated pedestrian access and utility easements as defined on the plat.

The second component of the request is a landscape plan review located within the proposed lot easements and in the right-of-ways. The landscape plan includes on-street parking, sidewalk system and integrated landscape within defined areas of the project. As well, the water feature component is included, which is located within public right-of-way, between lots 3 and 4. Additional landscape review will be required as part of the development plan when individual building proposals are finalized. This request also does not include any landscape within the banks of Tempe Town Lake, located off site. A future design as part of a RFP (request for proposal) will be brought forward by the City of Tempe for pedestrian improvements and landscape design of the south bank, extending to Rural Road.

Staff is recommending approval of this request subject to conditions of approval.

**REASONS FOR APPROVAL:**

1. The proposed plat has access to public streets and meets the technical standards of the City Code, Chapter 30, Subdivisions.
2. The landscape plan will create consistent theme within the Pier 202 project area, blending streetscape and connectivity within the project lots and to the Tempe Town Lake.

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. DEVELOPMENT REVIEW COMMISSION MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS. THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCE THAT PLANNING STAFF OBSERVES ARE PERTINENT TO YOUR CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT. THESE ITEMS ARE NOT AN EXHAUSTIVE LIST.

**SBD07024**

**CONDITIONS OF APPROVAL:**

1. The Subdivision Plat for PIER 202 shall be put into proper engineered format with appropriate signature blanks and recorded with the Maricopa County Recorder's Office through the City of Tempe's Development Services Department on or before August 16, 2008. Failure to record the plan within one year of City Council approval shall make the plan null and void.
2. After recordation of the plat, the Development Services will deliver the recorded plat to a blueprint company to create photo reduced positives for the City's records, at a cost to the applicant.

**DPR07156**

**CONDITIONS OF APPROVAL:**

3. Your drawings must be submitted to the Development Services Building Safety Division for permit by **August 14, 2008** or Development Plan approval will expire.
4. The owner(s) shall provide a continuing care condition, covenant and restriction for all of the project's landscaping, required by Ordinance or located in any common area on site. The CC&R's shall be in a form satisfactory to the Development Services Manager and City Attorney.
  - Under an agreement between the City of Tempe and the State of Arizona, Water Conservation Reports are required for landscape and domestic water use for this project. Have the landscape architect and the mechanical engineer prepare reports and submit them with the construction drawings during the building plan check process. Report example is contained in Office Procedure Directive # 59, available from Building Safety (480-350-8341). Contact Pete Smith of Water Resources (480-350-2668) if there are any questions regarding the purpose or content of the water conservation reports.
  - The project site does not have an Archaeologically Sensitive designation. However, State and federal laws apply to the discovery of features or artifacts during site excavation (typically, the discovery of human or associated funerary remains). Where such a discovery is made, contact the Arizona State Historical Museum (520-621-6302) for removal and repatriation of the items. Contact the Tempe Historic Preservation Officer (Joe Nucci 480-350-8870) if questions regarding the process described in this condition.

**Site Plan**

5. Provide 8'-0" wide public sidewalk along arterial roadways and minimum 6'-0" wide sidewalks on interior roadways, or as required by Traffic Engineering Design Criteria and Standard Details.
6. Provide gates of steel vertical picket, steel mesh, steel panel or similar construction. Where a gate has a screen function and is completely opaque, provide vision portals for visual surveillance. Review gate hardware with Building Safety and Fire staff and design gate to resolve lock and emergency ingress/egress features that may be required.
7. Provide upgraded paving at each driveway apron consisting of unit paving. Extend unit paving in the driveway from the back of the accessible public sidewalk bypass to 20'-0" on site and from curb to curb at the drive edges.

8. Place exterior, freestanding reduced pressure and double check backflow assemblies in pre-manufactured, pre-finished, lockable cages (one assembly per cage). If backflow prevention or similar device is for a 3" or greater water line, delete cage and provide a masonry or concrete screen wall following the requirements of Standard Detail T-214.
  9. Utility equipment boxes for this development shall be finished in a neutral color (subject to utility provider approval) that compliments the coloring of the buildings.
- The site is within an Alternative Retention Criteria Area. Verify specific design considerations with the Engineering Department.
  - Fire lanes need to be clearly defined. Ensure that there is at least a 20'-0" horizontal width, and a 14'-0" vertical clearance from the fire lane surface to the underside of tree canopies; or overhead structure, if allowed by Fire Department. Details of fire lane(s) are subject to approval of the Fire Department (Jim Walker 480-350-8341).
  - Underground all overhead utilities, excluding high-voltage transmission line unless project inserts a structure under the transmission line. Coordinate site layout with Utility provider(s) to provide adequate access easement(s).
  - Verify location of any easements, or property restrictions, to ensure no conflict exists with the site layout or foundation design.
  - Driveways:
    - Construct driveways in public right of way in conformance with Standard Detail T-320. Alternatively, the installation of driveways with return type curbs as indicated, similar to Standard Detail T-319, requires permission of Public Works/Traffic (Shelly Seyler 480-350-8219)
    - Correctly indicate clear vision triangles at both driveways on the site and landscape plans. Identify speed limits for adjacent streets at the site frontages. Begin sight triangle in driveways at point 15'-0" in back of face of curb. Consult "Corner Sight Distance" leaflet, available from Development Services Counter or from John Brusky in Transportation (480-350-8219) if needed. Do not locate site furnishings, screen walls or other visual obstructions over 2'-0" tall (except canopy trees are allowed) within each clear vision triangle.
  - Parking spaces:
    - Verify conformance of accessible vehicle parking to the Americans with Disabilities Act of 1990 (42 U.S.C.A. §12101 ET SEQ.) and the Code of Federal Regulations Implementing the Act (28 C.F.R., Part 36, Appendix A, Sections 4.1 and 4.6). Refer to Standard Detail T-360 for parking layout and accessible parking signs.
    - At parking areas, provide demarcated accessible aisle for disabled parking.
    - Distribute bike parking areas nearest to main entrance(s). Provide parking loop/rack per standard detail T-578. Provide 2'-0" by 6'-0" individual bicycle parking spaces. One loop may be used to separate two bike parking spaces. Provide clearance between bike spaces and adjacent walkway to allow bike maneuvering in and out of space without interfering with pedestrians, landscape materials or vehicles nearby.

## **Lighting**

10. Follow requirements of the Zoning and Development Code Part 4, Chapter 8, Lighting, except that Section 4-803(C)(5)(d) shall allow lenses visible above the horizontal plane no greater than seventeen hundred (1700) lumens.
- Follow the guidelines listed under appendix E "Photometric Plan" of the Zoning and Development Code.
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## Landscape

11. Follow requirements of the Zoning and Development Code Part 4, Chapter 7, Landscape and Walls.
  12. Irrigation notes:
    - a. Provide dedicated landscape water meter.
    - b. Enclose backflow prevention device in a lockable, pre-manufactured cage.
    - c. Provide pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Use of schedule 40 PVC mainline and class 315 PVC ½" feeder line is acceptable. Class 200 PVC feeder line may be used for sizes greater than ½" (if any). Provide details of water distribution system.
    - d. Locate valve controller in a vandal resistant housing.
    - e. Hardwire power source to controller (a receptacle connection is not allowed).
    - f. Controller valve wire conduit may be exposed if the controller remains in the mechanical yard.
    - g. Design irrigation so proposed plants are irrigated as part of the reconfigured system at the conclusion of this construction.
  13. Include requirement in site landscape work to de-compact soil in planting areas on site and in public right of way and remove construction debris from planting areas prior to landscape installation.
  14. Top dress planting areas with a rock or decomposed granite application. Provide rock or decomposed granite of 2" uniform thickness or less. Provide pre-emergence weed control application and do not underlay rock or decomposed granite application with plastic.
- Prepare an existing plant inventory for the site and adjacent street frontages. The inventory may be prepared by the Landscape Architect or a plant salvage specialist. Note original locations and species of native and "protected" trees and other plants on site. Move, preserve in place, or demolish native or "protected" trees and plants per State of Arizona Agricultural Department standards. File Notice of Intent to Clear Land with the Agricultural Department (602-364-0935). Notice of Intent to Clear Land form is available at [www.azda.gov](http://www.azda.gov). Follow the link to "form", to "native plants", and to "notice intent to clear land".
  - Indicate the location of all exterior light fixtures on the site, landscape (and photometric) plans. Avoid conflicts with lights in order to maintain illumination levels for exterior lighting.

## **HISTORY & FACTS:**

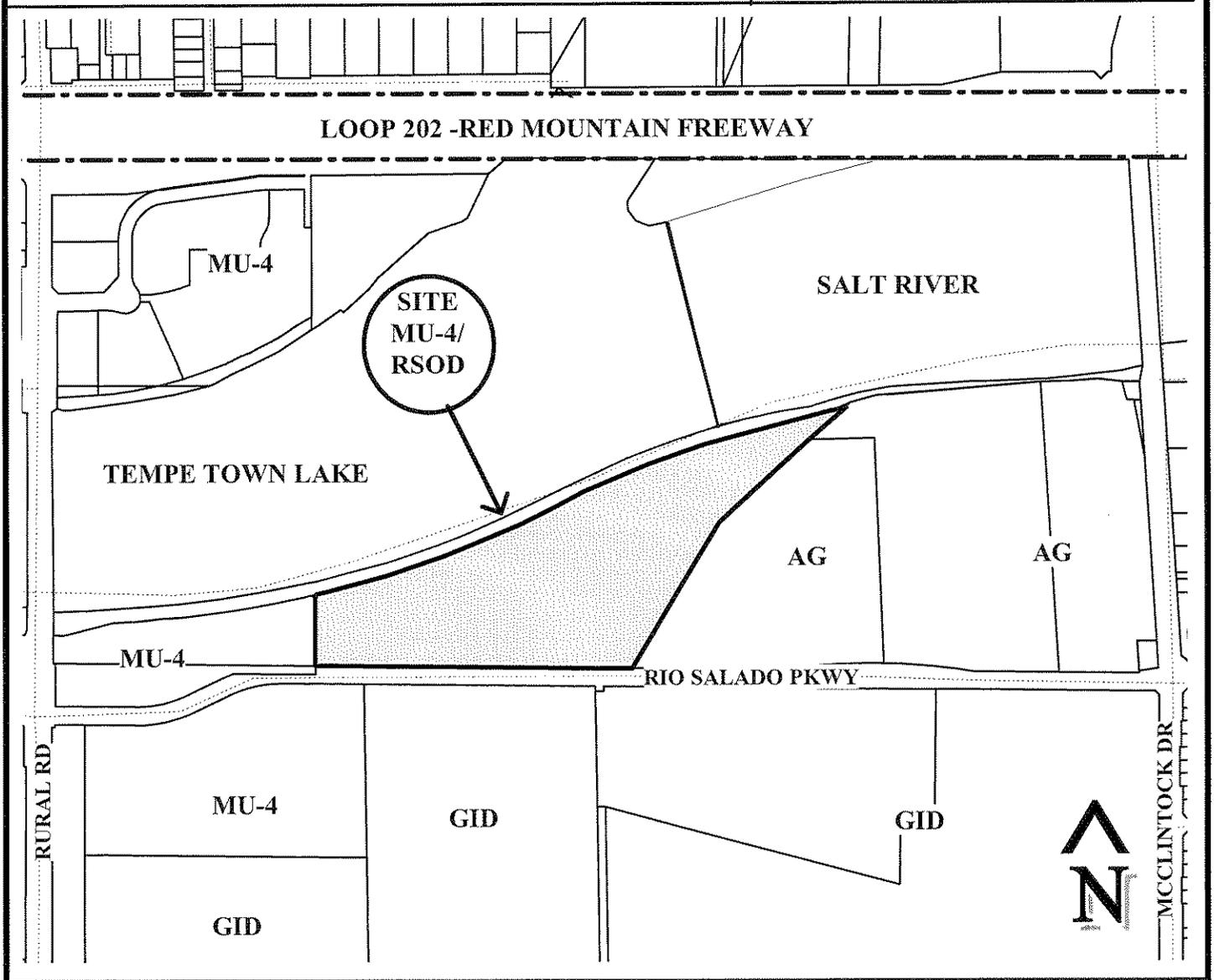
- December 18, 1997 City Council approved the request for CIUDAD DEL LAGO-RIO EAST for a Zoning Map Amendment to MG, Mixed-Use General District and a Preliminary Planned Area Development consisting of 1,150,000 s.f. of building area on 26.49 acres, located at 1200 East Rio Salado Parkway.
- September 10, 1998 City Council approved the request for CIUDAD DEL LAGO-RIO EAST for a Final Planned Area Development consisting of the Peabody Hotel, located at 1200 East Rio Salado Parkway.
- December 10, 1998 City Council approved the time extension for CIUDAD DEL LAGO-RIO EAST for Phase I and II.
- February 7, 2007 Rio Salado Advisory Commission, Development Review Sub-Committee reviewed this request and recommended support.
- March 13, 2007 Development Review Commission at the request of the applicant continued the request for an Amended Planned Area Development Overlay and Use Permit for PIER 202 located at 1200 East Rio Salado Parkway.
- April 10, 2007 Development Review Commission approved the request for a Use Permit to allow tandem parking and recommended approval of an Amended Planned Area Development Overlay for PIER 202 located at 1200 East Rio Salado Parkway.
- May 3, 2007 City Council introduced and held the first public hearing for an Amended Planned Area Development Overlay for PIER 202 located at 1200 East Rio Salado Parkway.
- May 17, 2007 City Council approved the request for an Amended Planned Area Development Overlay for PIER 202 located at 1200 East Rio Salado Parkway.

## **ZONING AND DEVELOPMENT CODE REFERENCE:**

Section 6-306, Development Plan Review (landscape only)  
Section 6-307, Subdivisions

PIER 202

PL060548



Request



PIER 202 (PL060548)

#### PROJECT DESCRIPTION:

The Pier at Tempe Town Lake is a new 28 acre mixed use development located in downtown Tempe adjacent to the vibrant Mill Avenue and ASU. The project will have 3.7 million square feet of office and retail, 1,870 residential units and one signature four star hotel. SWA was involved with initial conceptual studies that focused on integrating the Tempe Town Lake open space system with the project and trying to blur the lines between public and private development. SWA also created a street tree framework plan that establishes a spatial hierarchy and organizing element for the numerous gardens and plazas. Furthermore, the framework plan helps tie the site into the surrounding context by proposing Rio Salado landscape improvements and Tempe Town Lake improvements that connect to a larger city wide open space network. At the heart of the project is the main plaza which will include a fountain inspired by the surrounding natural arroyos. The fountain is designed in a way that encourages users to engage the fountain by gently sloping the plaza down to the waters edge. Floating pavers will allow cross access preventing the fountain from segmenting the plaza. Also located in the plaza will be outdoor dining and a small amphitheater that opens up to the lake beyond.

# PIER 202

PART OF THE NORTH HALF OF SECTION 14, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

### DEDICATION:

KNOW ALL MEN BY THESE PRESENTS: THAT PIER 202 TEMPE, LLC, AS OWNER, HAS PLATTED UNDER THE NAME OF PIER 202, LOCATED WITHIN A PORTION OF SECTION 14, T. 1 N., R. 4 E., OF TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, AS SHOWN ON THE MAP OF PIER 202, HEREBY PUBLISHES THIS PLAT OF PIER 202, AND DECLARES THAT SAID PLAT SETS FORTH THE LOCATION AND DIMENSIONS OF THE LOTS, ALONG WITH THE LOCATION AND DIMENSIONS OF THE STREETS, ALLEYS AND STREET FRONTAGE TO BE KNOWN BY THE NUMBER OR NAME GIVEN TO EACH LOT, AND THE LOCATION AND DIMENSIONS OF THE STREETS AND ALLEYS TO BE KNOWN BY THE NUMBER OR NAME GIVEN TO EACH STREET AND ALLEY, AND THE UTILITY EASEMENTS AS SHOWN ON SAID PLAT AND INCLUDED IN THE ABOVE DESCRIBED PREMISES.

### ACKNOWLEDGEMENT:

ON THIS \_\_\_\_\_ DAY OF CITY, ARESSED 2007, BEFORE ME, \_\_\_\_\_, A NOTARY PUBLIC, \_\_\_\_\_, A MEMBER, WHO ACKNOWLEDGED HIMSELF TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE INSTRUMENT WITHIN FOR PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND OFFICIAL SEAL

BY: \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_

PIER 202 TEMPE, LLC

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

ITS: CO-MANAGING MEMBER

### APPROVALS:

APPROVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF TEMPE, ARIZONA ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2007.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

ATTEST: \_\_\_\_\_ DATE: \_\_\_\_\_

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

### BENCH MARK

THE BENCH MARK IS A 1/2" X 1/2" X 1/2" METAL ANGLE AT THE WEST QUARTER CORNER OF SECTION 14, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, AS SHOWN ON THE MAP OF PIER 202, AND HAVING AN ELEVATION = 1167.41

### BASIS OF BEARINGS

ALL BEARINGS AND DISTANCES ARE BASED UPON THE MERIDIAN OF SECTION 14, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MONUMENTED WITH A HARD BRASS CAP AT THE CENTER OF SAID SECTION 14 AND A FOUND BRASS CAP IN A HAND DUG WELL AT THE CENTER OF SAID SECTION 14, AND HAVING A BEARING OF S 89°21'07" E AS SHOWN ON THE MAP OF PIER 202, AND HAVING AN ELEVATION OF 1167.41

### NOTES:

- 1) THIS SUBDIVISION IS LOCATED WITHIN THE CITY OF TEMPE AND HAS BEEN PLATTED UNDER THE NAME OF PIER 202, AS SHOWN ON THE MAP OF PIER 202, HEREBY PUBLISHES THIS PLAT OF PIER 202, AND DECLARES THAT SAID PLAT SETS FORTH THE LOCATION AND DIMENSIONS OF THE LOTS, ALONG WITH THE LOCATION AND DIMENSIONS OF THE STREETS, ALLEYS AND STREET FRONTAGE TO BE KNOWN BY THE NUMBER OR NAME GIVEN TO EACH LOT, AND THE LOCATION AND DIMENSIONS OF THE STREETS AND ALLEYS TO BE KNOWN BY THE NUMBER OR NAME GIVEN TO EACH STREET AND ALLEY, AND THE UTILITY EASEMENTS AS SHOWN ON SAID PLAT AND INCLUDED IN THE ABOVE DESCRIBED PREMISES.

### LEGAL DESCRIPTION (REFER TO SUBDIVISION)

THENCE NORTH 02°30'53" EAST, A DISTANCE OF 40.15 FEET (MEASURED FROM THE CENTER OF SAID SECTION 14, T. 1 N., R. 4 E., OF TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

- COMPONENTS AT THE WEST-QUARTER CORNER OF SAID SECTION 14, A FOUND BRASS CAP IN A HOLE;
THENCE SOUTH 89°21'07" EAST, A DISTANCE OF 1280.10 FEET;
THENCE NORTH 02°30'53" EAST, A DISTANCE OF 40.15 FEET (MEASURED FROM THE CENTER OF SAID SECTION 14, T. 1 N., R. 4 E., OF TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
NO SLOPED BOUNDARY FOUND CHISELED X ON THE SIDEWALK AND THE TRUE POINT OF BEGINNING;
THENCE NORTH 02°21'09" WEST, A DISTANCE OF 312.96 FEET TO A FOUND COTTON PICKER SPINDLE;
THENCE NORTH 78°29'53" EAST, A DISTANCE OF 44.86 FEET TO A FOUND BRASS CAP IN A HOLE;
THENCE NORTH 78°29'53" EAST, A DISTANCE OF 287.22 FEET TO A FOUND BRASS CAP IN A HOLE;
THENCE NORTH 71°18'17" EAST, A DISTANCE OF 286.96 FEET TO A FOUND BRASS CAP IN A HOLE;
THENCE NORTH 67°53'31" EAST, A DISTANCE OF 371.01 FEET TO A FOUND BRASS CAP IN A HOLE;
THENCE NORTH 64°16'23" EAST, A DISTANCE OF 371.51 FEET TO A FOUND BRASS CAP IN A HOLE;
THENCE NORTH 66°35'03" EAST, A DISTANCE OF 294.16 FEET TO A FOUND BRASS CAP IN A HOLE;
THENCE NORTH 70°59'42" EAST, A DISTANCE OF 281.30 FEET TO A FOUND BRASS CAP IN A HOLE;
THENCE NORTH 79°12'35" EAST, A DISTANCE OF 289.57 FEET TO A FOUND BRASS CAP IN A HOLE;
THENCE NORTH 79°12'35" EAST, A DISTANCE OF 289.39 FEET TO A FOUND BRASS CAP IN A HOLE;
THENCE NORTH 79°12'35" EAST, A DISTANCE OF 289.39 FEET TO A FOUND BRASS CAP IN A HOLE;
THENCE NORTH 79°12'35" EAST, A DISTANCE OF 85.56 FEET TO A FOUND BRASS CAP IN A HOLE;
THENCE SOUTH 47°31'58" WEST, A DISTANCE OF 216.79 FEET TO A FOUND BRASS CAP IN A HOLE;
THENCE SOUTH 47°29'10" WEST, A DISTANCE OF 560.21 FEET TO A FOUND BRASS CAP IN A HOLE;
THENCE SOUTH 31°07'19" WEST, A DISTANCE OF 792.58 FEET TO A FOUND BRASS CAP IN A HOLE;
THENCE SOUTH 31°07'19" WEST, A DISTANCE OF 792.58 FEET TO A FOUND BRASS CAP IN A HOLE;
THENCE NORTH 89°21'07" WEST ALONG THE NORTH-OF-WAY LINE OF SAID ROAD SQUAD PARWAY, A DISTANCE OF 174.69 FEET TO A FOUND BRASS CAP IN A HOLE;
CENTER OF SAID SECTION BEARS SOUTH 07°52'18" EAST, A DISTANCE OF 40.01 FEET TO A FOUND BRASS CAP FLUSH;
THENCE NORTH 89°20'56" WEST ALONG SAID NORTH-OF-WAY LINE OF SAID ROAD SQUAD PARWAY, A DISTANCE OF 174.69 FEET TO A FOUND BRASS CAP IN A HOLE;
SAID PARCEL OF LAND CONTAINS 1,192,162.80 SQUARE FEET OR 27,368.3 ACRES MORE OR LESS.

### FLOOD CERTIFICATION:

THIS IS TO CERTIFY THAT THE ABOVE SUBJECT PROPERTY LIES WITHIN ZONE "SHADE" AS DESIGNATED ON THE FLOOD INSURANCE RATE MAP, MAP NUMBER 48013 C-2179, DATED SEPTEMBER 30, 2005. THE FLOOD WITHIN AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE DEPTHS OF 1 FOOT OR MORE, IS NOT PROTECTED BY LEVEES FROM 1% ANNUAL FLOOD CHANCE.

### CERTIFICATION

THIS IS TO CERTIFY THAT THE SURVEY OF THE PREMISES DESCRIBED AND SHOWN ON THE MAP OF PIER 202, HEREBY PUBLISHES THIS PLAT OF PIER 202, AND DECLARES THAT THE SURVEY IS TRUE AND COMPLETE AS SHOWN, AND THAT THE DIMENSIONS ARE CORRECTLY SHOWN AND THE LOTS MONUMENTED ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

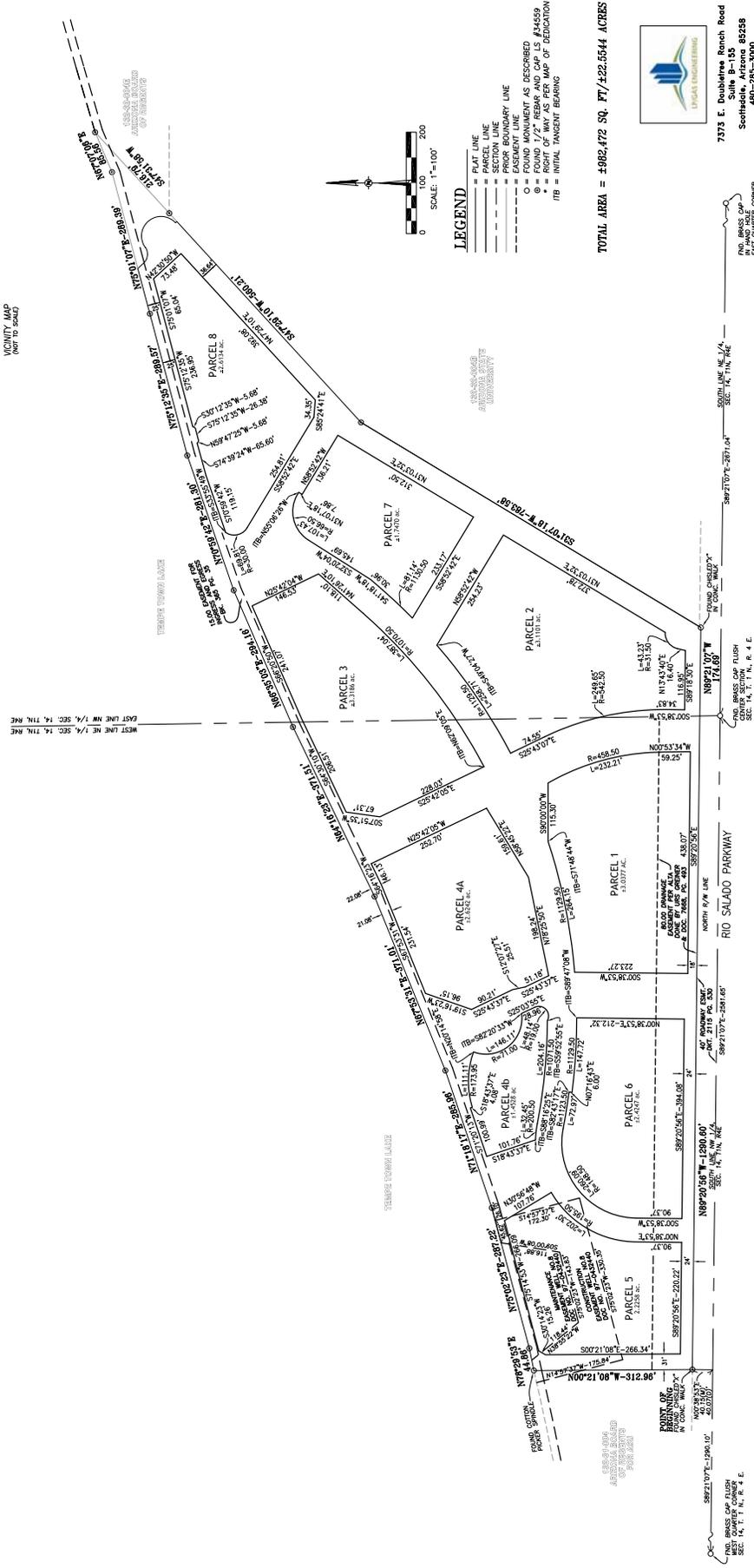
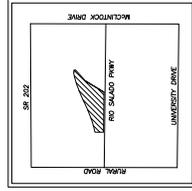
### TITLE NOTE:

TITLE INFORMATION IS SHOWN HEREIN FROM FIRST ARIZONA TITLE INSURANCE COMPANY POLICY NUMBER 0482-7841 AND AN EFFECTIVE DATE OF MAY 29, 2007 AT 7:30 A.M. PROPERTY IS SUBJECT TO:

- 1. TAXES FOR THE FULL YEAR OF 2006.
(THE FIRST HALF IS DUE OCTOBER 1, 2006 AND IS DELINQUENT. THE SECOND HALF IS DUE MARCH 1, 2007 AND IS DELINQUENT MAY 1, 2007)
2. IMPROVEMENT LIEN OF CITY OF TEMPE, ASSESSMENT NO.3, SERIES NO. 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.
3. IMPROVEMENT LIEN OF CITY OF TEMPE, ASSESSMENT NO. 1-2, SERIES NO. 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 7

# PIER 202

PART OF THE NORTH HALF OF SECTION 14, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



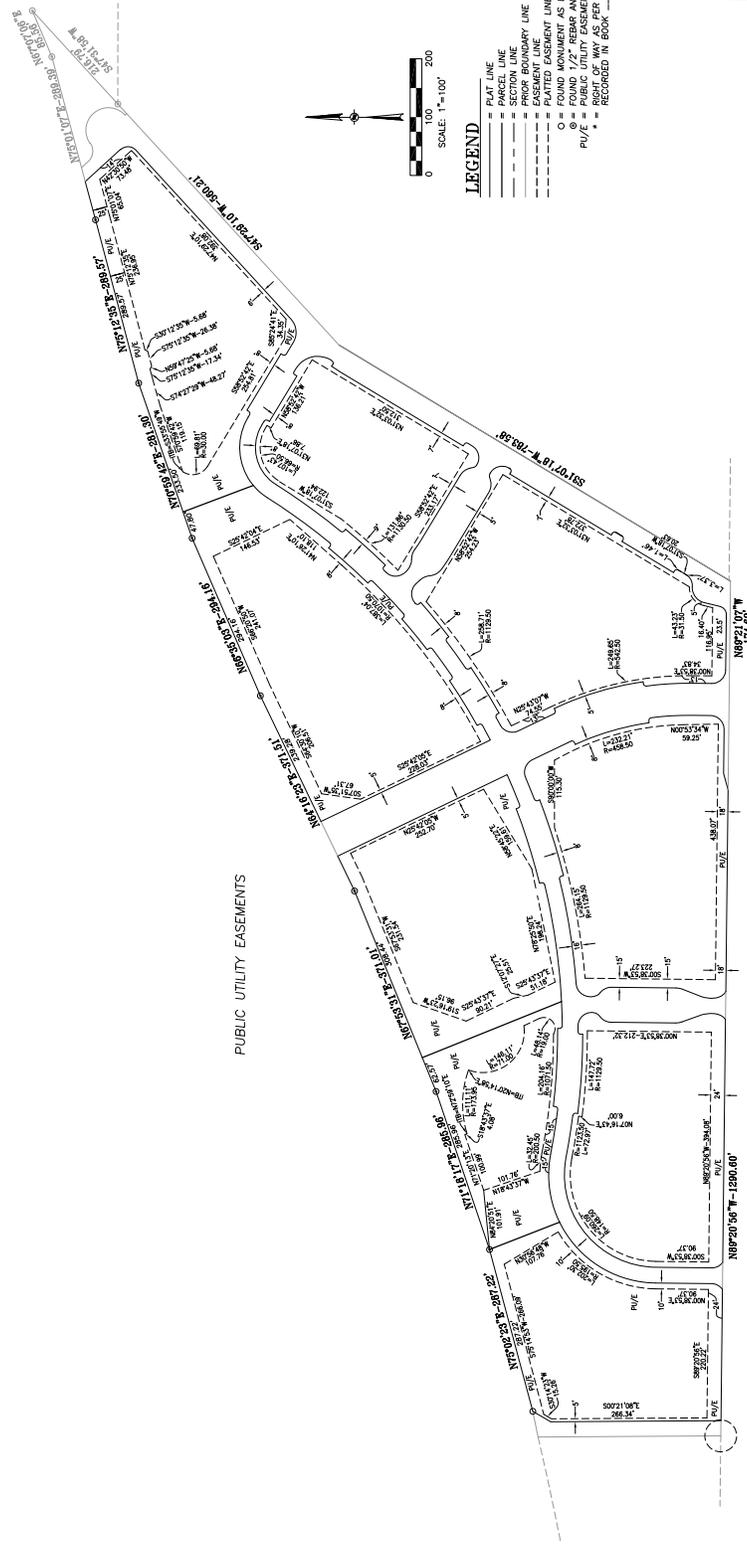
- LEGEND**
- PLAT LINE
  - PARCEL LINE
  - PRIOR BOUNDARY LINE
  - EASEMENT LINE
  - FOUND MONUMENT AS DESCRIBED
  - RIGHT OF WAY AS PER MAP OF DEDICATION
  - ITB = INITIAL TANGENT BEARING

TOTAL AREA = 4,692,472 SQ. FT./84.225544 ACRES



7373 E. Doubletree Ranch Road  
Scottsdale, Arizona 85238  
480-285-3000  
FAX 480-285-3100

**PIER 202**  
 PART OF THE NORTH HALF OF SECTION 14, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE  
 GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



**LEGEND**

- PLAT LINE
- SECTION LINE
- PRIOR BOUNDARY LINE
- EASEMENT LINE
- FOUND MONUMENT AS DESCRIBED
- ⊙ = FOUND 1/2" REBAR AND CAP L.S. #44559
- PU/E = PUBLIC UTILITY EASEMENT
- = MAP OF REVISION
- = RECORDED IN BOOK \_\_\_\_\_ AT PAGE \_\_\_\_\_



7373 E. Doubleres Ranch Road  
 Phoenix, Arizona 85238  
 480-285-3000  
 FAX 480-285-3100

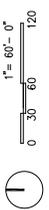


REVISIONS:	DATE
1	06/12/07
2	06/12/07
3	07/13/07

Notes

DATE:	JULY 13, 2007
PROJECT NO.:	UPENN001
SHEET NO.:	07
SHEET TITLE:	07

L001



SITE PLAN

SHEET	CONTENT	PLANTING DETAILS
L001	General Notes	L401
L002	Legends	L402
L003	Sheet Index Plan	L501
L004	Limit of Work Plan	L502
L101	Hardscape, Layout & Material plan	L503
L102	Hardscape, Layout & Material plan	L504
L103	Hardscape, Layout & Material plan	L505
L104	Hardscape, Layout & Material plan	L506
L104.1	Plaza Layout Plan	L507
L104.2A	Plaza Accent Paving Layout Plan	L508
L104.2B	Plaza Accent Paving Layout Plan	L509
L104.3A	Arroyo Fountain Subslab Layout Plan	
L104.3B	Arroyo Fountain Subslab Layout Plan	
L104	Hardscape, Layout & Material plan	
L105	Hardscape, Layout & Material plan	
L106	Hardscape, Layout & Material plan	
L107	Hardscape, Layout & Material plan	
L201	Planting Plan	
L202	Planting Plan	
L203	Planting Plan	
L204	Planting Plan	
L205	Planting Plan	
L206	Planting Plan	
L207	Planting Plan	
L301	Arroyo Fountain Wall Elevation	
L302	Arroyo Fountain Wall Detail	
L303	Arroyo Fountain Cross Section	
L304	Arroyo Fountain Cross Section	
L305	Bridge Section	
L306	Cascade Fountain at Sunken Plaza	
L307	Fountain at Sunken Plaza	
L308	Stair and Fountain Details	
L309	Cascade Fountain Details	
L310	Cascade Fountain Details	
L311	Perimeter Fence Details	
L312	Bridge Sections	
L313	Bridge Details	
L314	Fountain Details	
L315	Fountain Details	

PLANTING NOTES

Finish grading shall be reviewed by the Landscape Architect in the field after soil preparation and prior to planting installation.

The Contractor shall obtain an Agronomic Soil Fertility Report, which tests the agricultural suitability and fertility by accredited laboratory and provides a soil analysis and topsoil mix. Submit soils analyses to the Landscape Architect for approval prior to soil preparation. This requirement applies to all soils and conditions within this project. Refer to Specifications for further requirements.

Excess soil from landscape grading is to be removed and disposed of off-site by the Contractor.

Exact locations of plant materials shall be flagged/staked and approved by the Landscape Architect in the field prior to installation. The Landscape Architect reserves the right to adjust plants to exact locations in field.

Align and evenly space in all directions the trees, shrubs and vines as noted in the Contract Drawings.

The Contractor shall be responsible for verifying all plant tags and square footages. Quantities, if provided, are for the Owner information only.

Provide matching forms and sizes for all plant materials within each species, plant type and size designated on the drawings. All plant materials shall be inspected and approved by the Landscape Architect prior to review and acceptance by the Landscape Architect prior to commencement of the planting installation.

Prune newly planted trees only as directed by the Landscape Architect in the field.

Finish grades of all shrub areas shall be (1-1/2") below adjacent curb, pavement or header.

The Contractor shall provide root control barriers for all trees within five (5) feet of paving, install per Specifications Section 0293.32 - Landscape Planting Accessories

GENERAL NOTES

Where Plans and Specifications are found to be in conflict, where various items of Work are seen to be in conflict, the Contractor shall be responsible for resolving the conflict, direction, prior to proceeding with Work.

Limit use of premises to work in areas indicated. Do not encroach on utility easements, easements, or other areas. Premises clear and available to the Owner, public and emergency vehicles at all times. Do not use these areas for parking or storage of materials. Schedule deliveries to minimize use of driveways and entrances.

The existence and location of site improvements, utilities, and other construction indicated as existing are not guaranteed. Before beginning Work, investigate and verify the location and depth of all existing utilities, easements, planting, hardscape and other construction affecting the Work. Before construction, verify the location and points of connection of utility services. The Contractor bears full responsibility for the location and depth of all utilities owned by any person, vehicle, equipment or tool related to the execution of the Contract shall be repaired immediately at no expense to the Owner.

Contractor shall notify Underground Service Alert: (USA) 1-800-422-4133 48 hours prior to any excavation.

The Contractor shall manually irrigate or activate irrigation systems necessary to water and maintain the vegetation as soon as planting is completed.

Coordinate construction and operations of Work performed by the Contractor's construction consultants. Inform the Owner of the Contractor's preferred construction schedule prior to construction. Adjust construction schedule based on a mutually agreed upon construction schedule. Changes to schedule are required due to differences in actual construction progress. Include the Owner's construction consultants at preinstallation meetings covering portions of the Work that are related.

Irrigation to be fully automatic. See Irrigation Drawings.

Tree staking and guying is at the Contractor's option. Contractor is required to keep tree vertical at all times and to remove trees immediately should it lean within warranty period.

Information regarding the requirements of the as built and maintenance drawing package shall be obtained from the City of Tempe.

All existing trees shall be protected in place unless otherwise noted in the Contract Drawings. Any damage to existing trees shall be repaired by the Contractor at the same site of the damaged tree, at no cost to the Owner.

LAYOUT & MATERIAL NOTES

The Contractor shall layout and verify all dimensions prior to construction. Any discrepancies shall be brought to the attention of the Landscape Architect.

Verify locations of site improvements installed under other sections. If any part of this plan cannot be followed due to site conditions, contact the Landscape Architect for instruction prior to commencing Work.

Written dimensions take precedence over scale.

Where dimensions are called as "equal", all referenced items shall be spaced equally, measured to their center lines.

All measurements are to face of building, wall or other fixed site improvement. Dimensions to center lines is indicated.

Exact locations & orientation of landscape boulders shall be directed in the field by the Landscape Architect. The Contractor shall provide a minimum of one week notice to schedule Landscape Architect's review.



MATERIALS SCHEDULE

SYMBOLS	KEY	ITEM	DETAIL SHEET	MATERIAL	COLOR	FINISH / REMARKS
PAVING	PV-1	PERIMETER SIDEWALK	4.6/L309	CAST IN PLACE CONCRETE	NATURAL GRAY	PER CITY OF TEMPE STANDARDS
	PV-2	INTERIOR SIDEWALK PAVING	1.3,4.6,7.8/L309	CAST IN PLACE CONCRETE	TBD	SAWCUT JOINTS
	PV-2A	CONCRETE BANDS	5/L309	CAST IN PLACE CONCRETE	TBD	SAWCUT JOINTS
	PV-3	RETAL PAVING "A"	1.3,4.6,7.8/L309	CAST IN PLACE CONCRETE	TBD	INTEGRAL COLOR CONCRETE W/ HAND SEDED AGGREGATE BANDS
	PV-4	RETAL PAVING "B"	1.3,4.6,7.8/L309	CAST IN PLACE CONCRETE	TBD	INTEGRAL COLOR CONCRETE W/ HAND SEDED AGGREGATE & TOP CAST FINISH
	PV-5	PERIMETER ENTRY PAVING	1.3,4.6,7.8/L309	CAST IN PLACE CONCRETE	TBD	INTEGRAL COLOR CONCRETE W/ HAND SEDED AGGREGATE & TOP CAST FINISH
	PV-6	GARDEN PAVING	1.3,4.6,7.8/L309	POPPHRY STONE	TBD	24" x 3" x 4" (NOMINAL), MED. SANDBLAST, AVAILABLE THROUGH STEPSTONE PAPERS 1.800.572.9029
	PV-7A	PLAZA PAVING	2.5/L309	PRE-CAST CONCRETE UNIT PAVERS	TBD	24" x 3" x 4" (NOMINAL), MED. SANDBLAST, AVAILABLE THROUGH STEPSTONE PAPERS 1.800.572.9029
	PV-7B	PLAZA PAVING	2.5/L309	PRE-CAST CONCRETE UNIT PAVERS	TBD	24" x 3" x 4" (NOMINAL), MED. SANDBLAST, AVAILABLE THROUGH STEPSTONE PAPERS 1.800.572.9029
	PV-7C	PLAZA ACCENT PAVING	L1042A, L104,2B, 2.5/L309	PRE-CAST CONCRETE UNIT PAVERS	TBD	HOLAND-STONE I, RUNNING BOND PATTERN, AVAILABLE THROUGH AAKER-STONE 909.674.0047
	PV-8	COURTYARD PAVING	5/L309	PRE-CAST CONCRETE UNIT PAVERS	SANTA BARBARA SANDSTONE	SONORA SHINE
	PV-9	FOUNTAIN PEBBLE	1/L303, 1.2/L304, 1/L305, 1/L307, 3/L314	NATURALLY ROUNDED ROCK	BROCKE BROWN	2" TO 3" AGGREGATE, AVAILABLE THROUGH TOP SEED, AGGREGATE TO FULLY WASHED AGGREGATE
	PV-10	FOUNTAIN STEPPING STONES	1.2/L304, 5/L314	FLASTONE PAVERS	TURNING LEAF	2-6 LUMBER (NOMINAL) W/ MEDIUM SANDBLAST FINISH, W/ COLOR STAINED WARNING STRIP
	PV-11	FOUNTAIN BRIDGE	L303, 1.2/L305, L312	PIPE WOOD	TBD	3/4" x 12" WIDE MEDIUM SANDBLAST FINISH
PV-12	CONCRETE STAIRS	1/310	CAST IN PLACE INTEGRAL COLOR CONCRETE	TBD	3" PEBBLE, AVAILABLE THROUGH KRC ROCK 1.800.572.7625	
PV-13	RAISED FOUNTAIN EDGE	1/310	CAST IN PLACE INTEGRAL COLOR CONCRETE	TBD	6" BENCH, AVAILABLE THROUGH KELLY MAKEGON 619.801.1838	
PV-14	PLANTER AGGREGATE MULCH	9/1401	ROUND AGGREGATE STONE	MISSION MOUNTAIN	AVAILABLE THROUGH LANDSCAPE FORMS 480.767.5333	
SITE FURNISHINGS						
SP-1	KNIGHT BENCH	SEAMLESS ALUMINUM FRAME W/ PE WOOD POMEGRACAT				
SP-2	TRASH RECEPTACLE	ALUMINUM FRAME W/ PE WOOD SLATS				
SP-3	HAND RAIL	STAINLESS STEEL				
SP-4	PERMETER FENCE	GALVANIZED STEEL				
SITE WALLS						
W-1	18" HIGH CONCRETE SEAT WALL	CAST IN PLACE INTEGRAL COLOR CONCRETE	1/310		TBD	ONE SIDE BEVELED W/ STAINLESS STEEL EDGE AND LIGHT, MED. SANDBLAST FINISH W/ STAINLESS STEEL EDGE AND LIGHT, MED. SANDBLAST FINISH
W-2	18" HIGH CONCRETE SEAT WALL	CAST IN PLACE INTEGRAL COLOR CONCRETE	2/L310		TBD	ONE SIDE BEVELED W/ STAINLESS STEEL EDGE AND LIGHT, MED. SANDBLAST FINISH
W-3	3'-0" WIDE CONCRETE WALL	CAST IN PLACE INTEGRAL COLOR CONCRETE	1/L306		TBD	REINFORCED C/JP CONC. W/ STAINLESS STEEL W/ STAINLESS STEEL EDGE AND LIGHT, MED. SANDBLAST FINISH
W-4	ARROYO FOUNTAIN WALL	REINFORCED C/JP CONC. W/ STAINLESS STEEL W/ STAINLESS STEEL EDGE AND LIGHT, MED. SANDBLAST FINISH	L301, L302		SPONEY PEAK OR SHARITE	AVAILABLE THROUGH SEPULVEDA BLDG. MATERIALS 949.347.2143
W-5	CASCADE FOUNTAIN	CAST IN PLACE INTEGRAL COLOR CONCRETE	L308		TBD	CONTACT SARAJANE TOWNBROW

TREE PLANTING LEGEND

SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	FORM/BRANCHING	SPACING	MINIMUM SIZE	REMARKS
	FIC BEN	FICUS BENAMINA	COLUMNAR FIGUS	36" BOX	STANDARD	3' O.C. SINGLE ROW	9H x 4W	MATCHED, FULLY BRANCHED TO GROUND, SYMMETRICAL, WELL ROOTED AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT
	CER DES	CERCIDIUM X 'DESERT MUSEUM'	DESERT MUSEUM HYBRID PALO VERDE	24" BOX	MULTI TRUNK	AS SHOWN	10H x 7W	MATCHED, FULL SYMMETRICAL, WELL ROOTED AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT
	CER PRA	CERCIDIUM PRAECOX	PALO BREA	36" BOX	STANDARD	AS SHOWN	10H x 7W	MATCHED, FULL SYMMETRICAL, WELL ROOTED AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT
	FRA VEL	FRAXINUS VELUTINA 'RIO GRANDE'	FAN-TEX ASH	36" BOX	STANDARD	AS SHOWN	15H x 7W	MATCHED, FULL SYMMETRICAL, WELL ROOTED AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT
	LAG FAU	LAGERSTROMIA X FAUREI 'TUSCARORA'	HYBRID GRAPE MYRTLE	36" BOX	MULTI TRUNK	AS SHOWN	10H x 7W	MATCHED, FULL SYMMETRICAL, WELL ROOTED AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT
	JAC MIM	JACARANDA MIMOSIFOLIA	JACARANDA	48" BOX	STANDARD	AS SHOWN	14H x 7W	MATCHED, FULL SYMMETRICAL, WELL ROOTED AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT
	PHO DAC	PHOENIX DACTYLIFERA 'MEDJOL'	MEDJOL HYBRID DATE PALM	FIELD GROWN	MAX. 2' TALL AERIAL ROOTS	AS SHOWN	27" O.B. APICAL MERSTEM	MATCHED, STRAIGHT, SYMMETRICAL, WELL ROOTED, TO BE TAGGED BY LANDSCAPE ARCHITECT AT NURSERY
	PIT FLE	PITHECELLOBIUM FLEXICALE	TEXAS EBONY	36" BOX	STANDARD	AS SHOWN	9H x 6W	MATCHED, FULL SYMMETRICAL, WELL ROOTED AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT
	POP FRE	POPULUS FREMONTII	FREMONT POPLAR	24" BOX	STANDARD	AS SHOWN	13H x 5W	MATCHED, FULL SYMMETRICAL, WELL ROOTED AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT
	PRO CHI	PROSOPIS CHILENSIS 'PHOENIX'	HYBRID PHOENIX MESQUITE	36" BOX	STANDARD	AS SHOWN	13H x 7W	MATCHED, FULL SYMMETRICAL, WELL ROOTED AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT
	QUE VR	QUERFUS VIRGINIANA	SOUTHERN LIVE OAK	36" BOX	STANDARD	AS SHOWN	11H x 5W	MATCHED, FULL SYMMETRICAL, WELL ROOTED AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT

UNDERSTORY PLANTING LEGEND

KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	FORM	MINIMUM SIZE	REMARKS
	BOUGAINVILLEA MARY PALMER'S ENCHANTMENT	MARY PALMER'S ENCHANTMENT BOUGAINVILLEA	15 GAL	30" O.C. TRIANGULAR SPACED	STAKED UPRIGHT	4H x 2W	FULL SYMMETRICAL IN CONTAINER, DENSE GROWTH, WELL ROOTED AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT
	CAESALPINIA PILLOHERMIA	RED BIRD OF PARADISE	15 GAL	48" O.C. SINGLE ROW	UPRIGHT	4H x 3W	FULL SYMMETRICAL IN CONTAINER, DENSE GROWTH, WELL ROOTED AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT
	CONVOLVULUS ONEIRUM	BUSH MORNING GLORY	5 GAL	24" O.C. DOUBLE ROW	UPRIGHT	2H x 18"W	FULL SYMMETRICAL IN CONTAINER, DENSE GROWTH, WELL ROOTED AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT
	DALEA CAPITATA 'SIERRA GOLD'	SIERRA GOLD DALEA	1 GAL	30" O.C. TRIANGULAR SPACED	PROSTRATE	12H x 2W	FULL SYMMETRICAL IN CONTAINER, DENSE GROWTH, WELL ROOTED AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT
	DALEA FRUTESCENS 'SIERRA NEGRA'	BLACK DALEA	5 GAL	24" O.C. DOUBLE ROW	UPRIGHT	2H x 18"W	FULL SYMMETRICAL IN CONTAINER, DENSE GROWTH, WELL ROOTED AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT
	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	24" O.C. SINGLE ROW	UPRIGHT	2H x 12"W	FULL SYMMETRICAL IN CONTAINER, DENSE GROWTH, WELL ROOTED AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT
	LANTANA SPECIES 'NEW GOLD'	NEW GOLD LANTANA	1 GAL	18" O.C. TRIANGULAR SPACED	UPRIGHT	1H x 12"W	FULL SYMMETRICAL IN CONTAINER, DENSE GROWTH, WELL ROOTED AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT
	LEUCOPHYLLUM FRUTESCENS 'COMPACTA'	COMPACT TEAS RANGER	5 GAL	42" O.C. SPACING	UPRIGHT	2H x 18"W	FULL SYMMETRICAL IN CONTAINER, DENSE GROWTH, WELL ROOTED AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT
	LEUCOPHYLLUM LAEGICATUM	CHUHUIHUIAN SAGE	5 GAL	36" O.C. SINGLE ROW	UPRIGHT	18H x 16"W	FULL SYMMETRICAL IN CONTAINER, DENSE GROWTH, WELL ROOTED AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT
	MUHLENBERGIA RIGIDA 'NASHVILLE'	PURPLE MUHLY	5 GAL	14" O.C. TRIANGULAR SPACED	UPRIGHT	12H x 12"W	FULL SYMMETRICAL IN CONTAINER, DENSE GROWTH, WELL ROOTED AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT
	NOLINA MICROCARPA	BEAR GRASS	5 GAL	AS SHOWN	UPRIGHT	12H x 2W	FULL SYMMETRICAL IN CONTAINER, DENSE GROWTH, WELL ROOTED AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT
	ROSMARINUS OFFICINALIS 'ARP'	ROSEMARY	5 GAL	30" O.C. SQUARE SPACING	UPRIGHT	18H x 12"W	FULL SYMMETRICAL IN CONTAINER, DENSE GROWTH, WELL ROOTED AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT
	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUE STEM	1 GAL	18" O.C. TRIANGULAR SPACED	UPRIGHT	12H x 12"W	FULL SYMMETRICAL IN CONTAINER, DENSE GROWTH, WELL ROOTED AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT
	YUCCA RUPICOLA	TWISTED LEAFED YUCCA	5 GAL	AS SHOWN	UPRIGHT	18H x 16"W	FULL SYMMETRICAL IN CONTAINER, DENSE GROWTH, WELL ROOTED AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT

A Project of:



Civil, Structural  
 & Electrical Engineers



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DEPARTMENT OF PUBLIC WORKS  
 City of Tempe  
 DIVISION OF ENGINEERING  
 P.O. BOX 2002 TEMPE, ARIZONA 85286



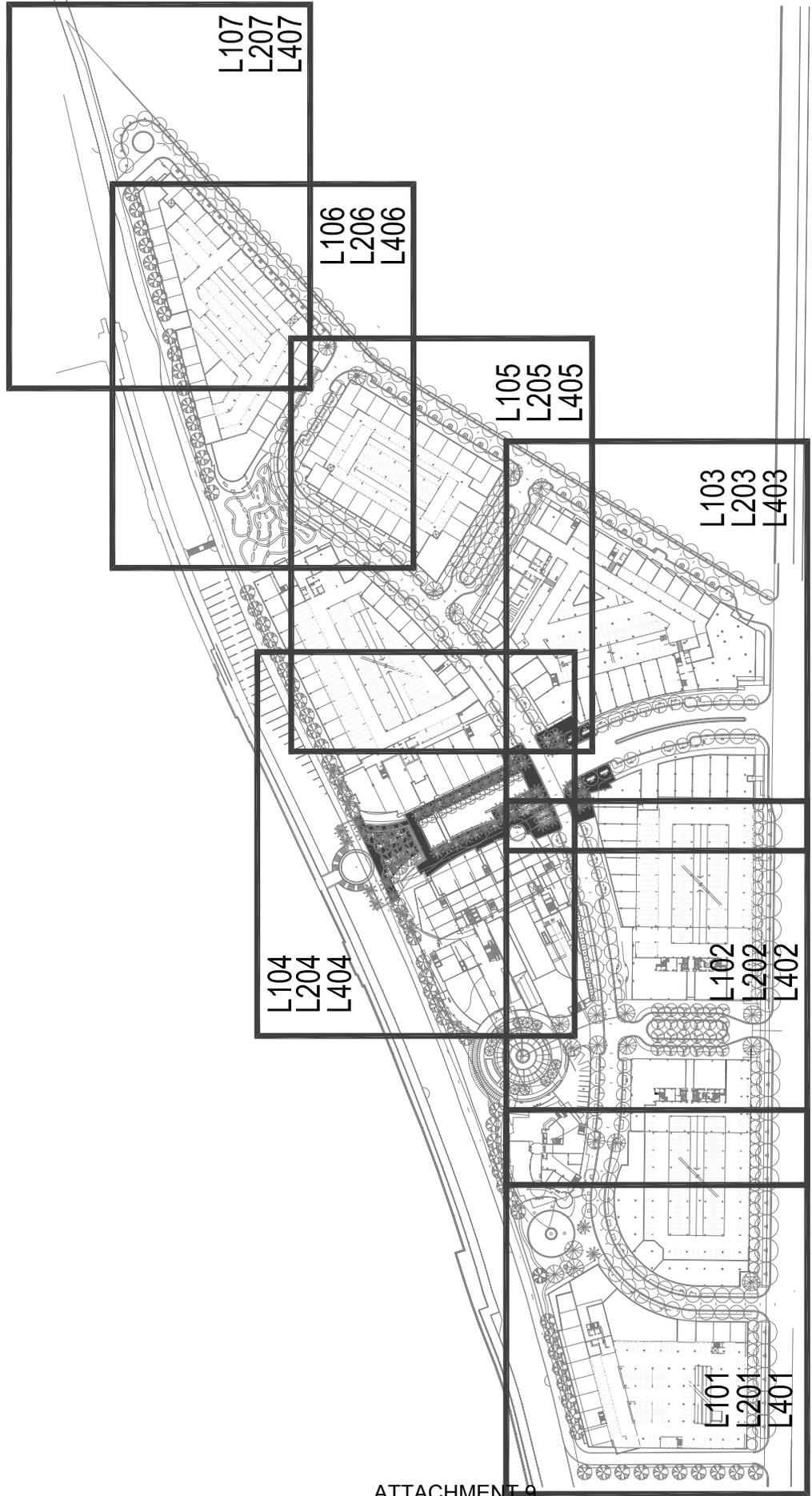
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90% CD	06/12/07
100% CD	07/13/07

DATE:	JULY 13, 2007
PROJECT NO.:	LPEN001
SHEET NO.:	OF
SHEET TITLE:	

Sheet Index Plan

SUBMITTED BY:	
DESIGNED BY:	KS, MW, MC
DRAWN BY:	KS, MW, MC
CHECKED BY:	KS, MW, MC
SCALE:	1" = 80'-0"

40 80 160  
 L003



A Project of:



Civil, Structural  
 & Electrical Engineers



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 510.951.4141

DEPARTMENT OF PUBLIC WORKS  
 City of Tempe  
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 P.O. BOX 5002 TEMPE, ARIZONA 85288

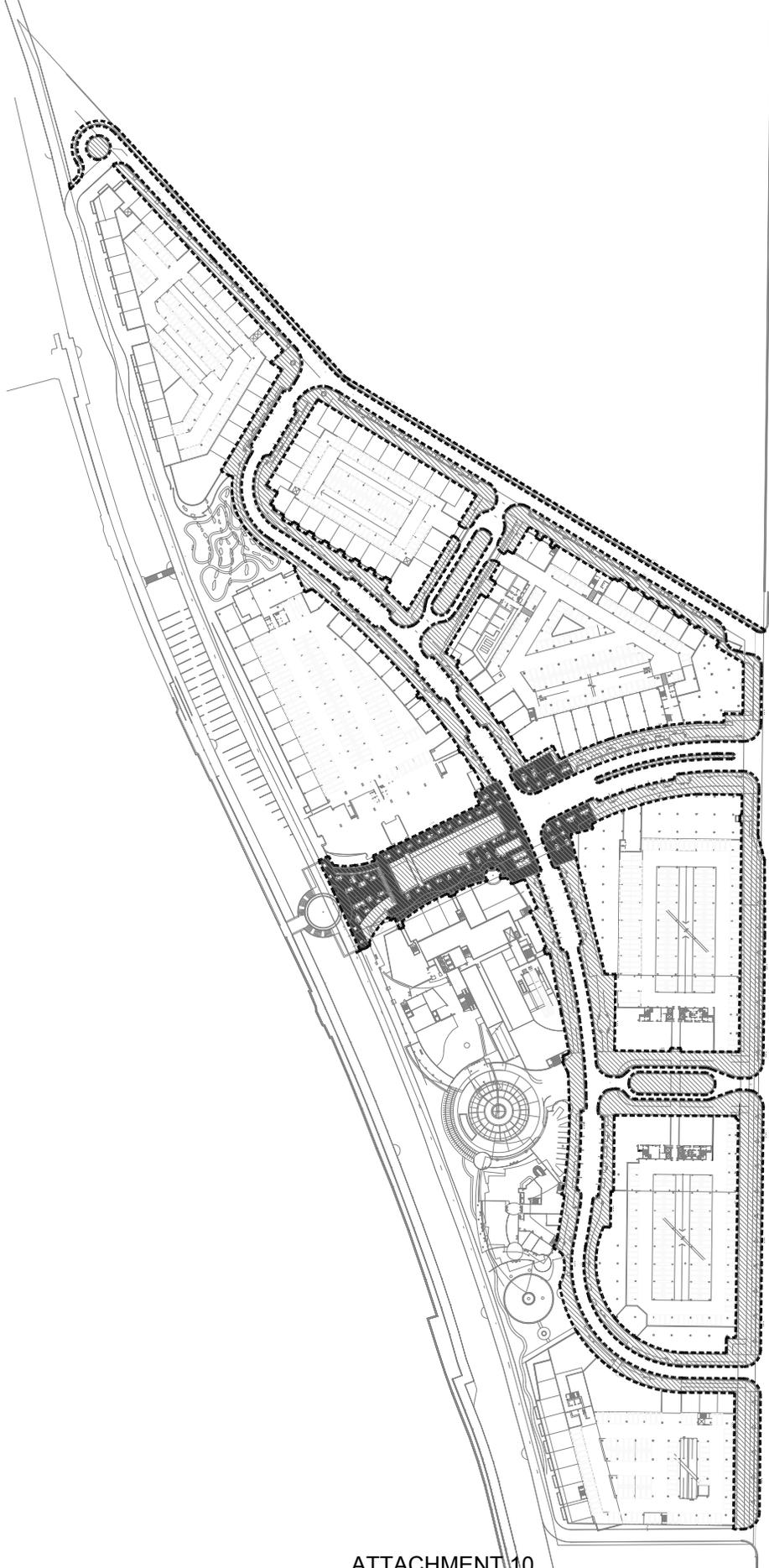


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90% CD	06/17/07
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DRAWN BY:	LP/RSBL
SHEET NO.:	OF:
SHEET TITLE:	

Limit of Work Line  
Plan

SURVEYED BY:	
DESIGNED BY:	MS, MM, MC
CHECKED BY:	MS, MM
SCALE:	1" = 80'-0"



LEGEND  
 LIMIT OF THE WORK LINE - - - - -









A Project of:



Civil, Structural  
 & Electrical Engineers



1101 E. DOUBLE TREE RANCH RD.  
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CITY OF TEMPE  
 DIVISION OF ENGINEERING  
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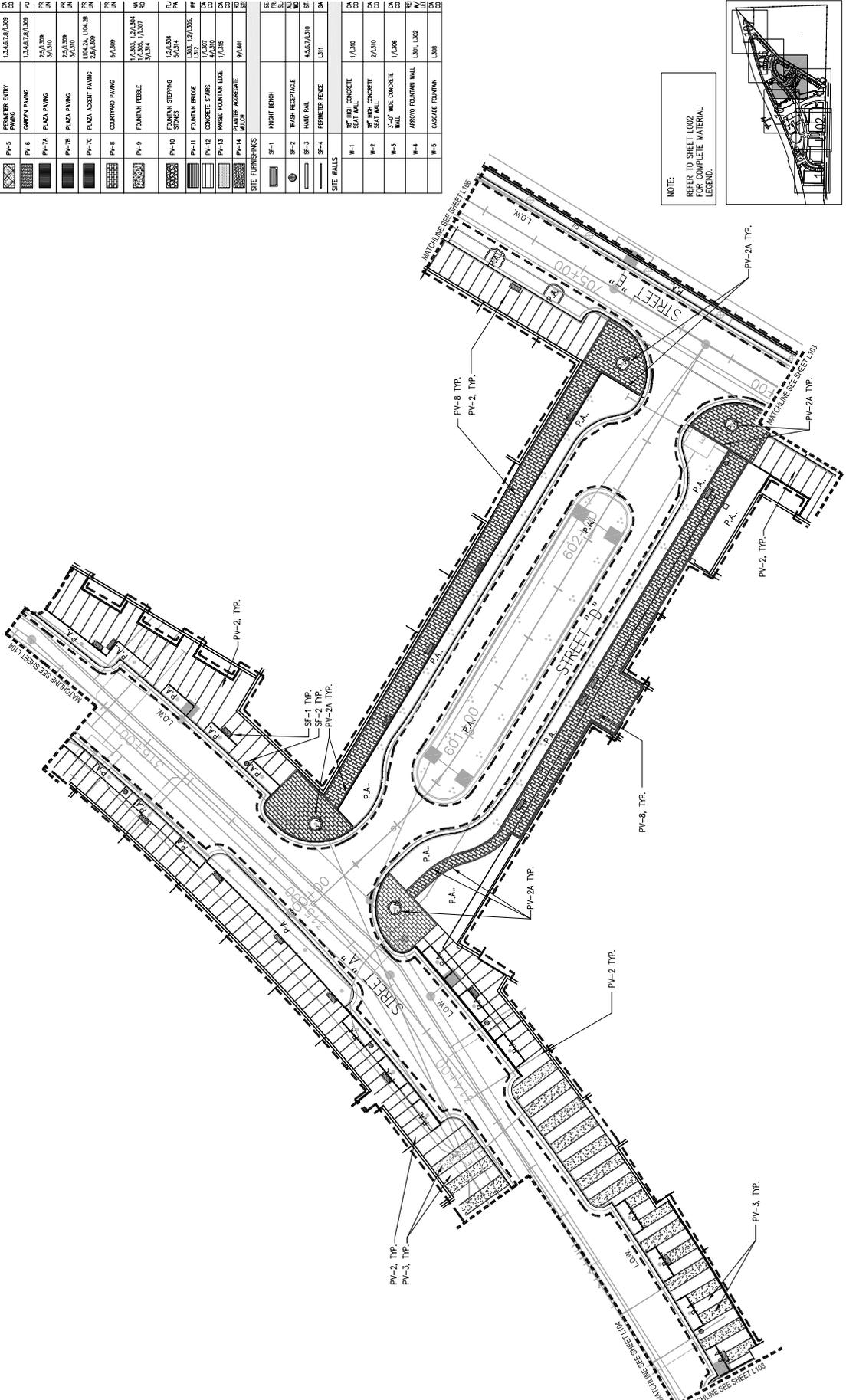
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DATE: JULY 13, 2007  
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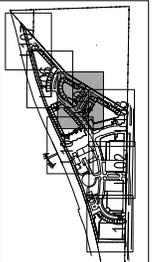
Handscape, Layout &  
 Material Plan

SCALE: 1" = 20'-0"  
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MATERIALS SCHEDULE			
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NOTE:  
 REFER TO SHEET 002  
 FOR COMPLETE MATERIAL  
 LEGEND.



Key Plan

A Project of:  
  
  
 Civil, Structural & Electrical Engineers

  
 7070 E. PAPER TREE RANCH RD.  
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 500 P 330000  
 14000 S RAYBURN, CA 94515  
 925.467.2471

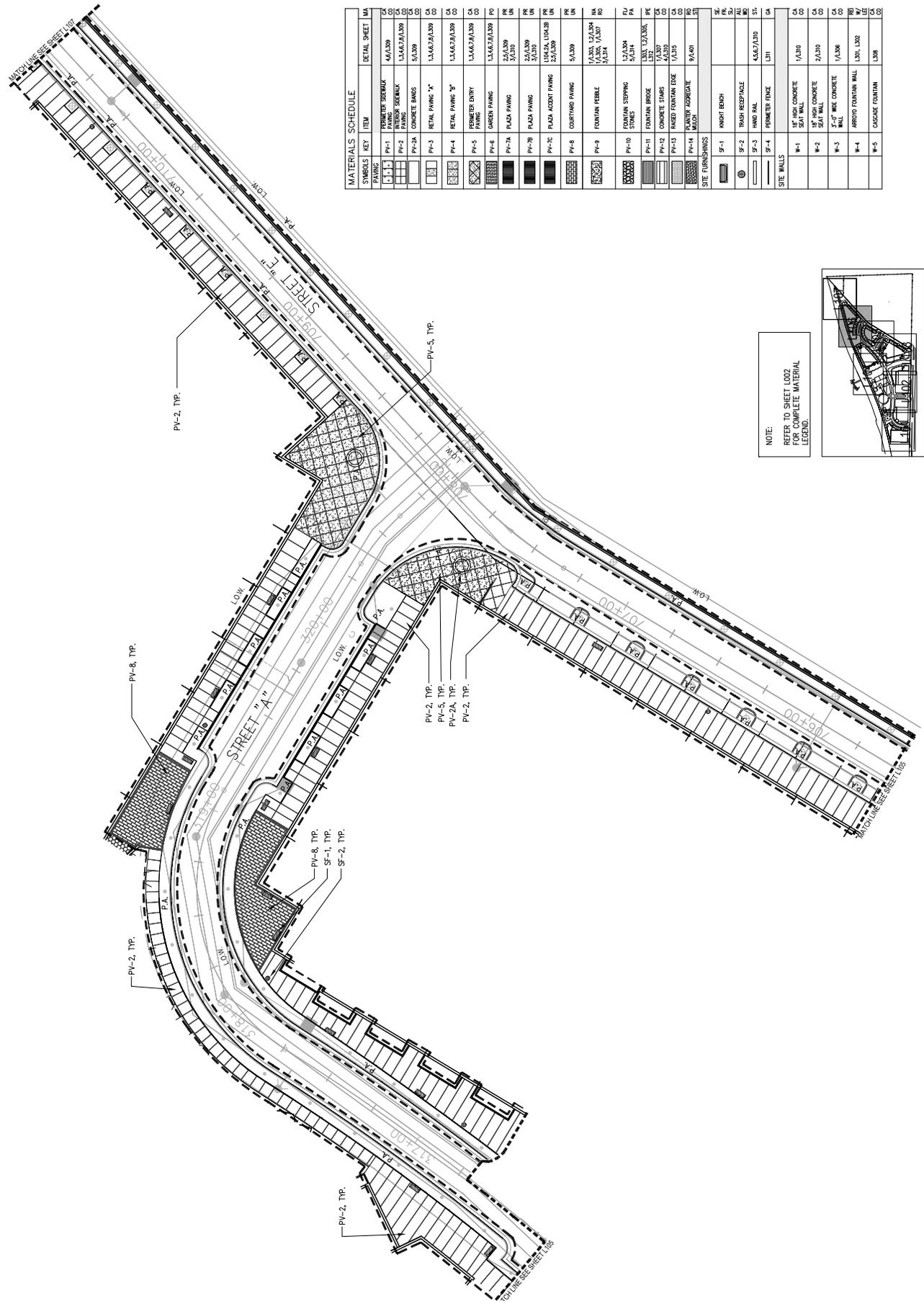
City of Tempe  
 DIVISION OF ENGINEERING  
 450 W. BOWEN BLVD., SUITE 200  
 TEMPE, AZ 85281



REVISIONS:	DATE
01/12/07	06/12/07
02/13/07	07/13/07

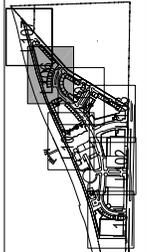
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 PROJECT NO.: LPEN001  
 SHEET TITLE: OF  
 HANDScape, Layout & Material Plan

SCALE: 1" = 20'-0"  
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 L106



SYMBOLS	KEY	ITEM	DETAIL SHEET	MA
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[Symbol]	PAV-8	COURTYARD PAVING	5/8" CON	CA
[Symbol]	PAV-9	FOUNTAIN PERLE	1.5" ASP	CA
[Symbol]	PAV-10	FOUNTAIN STEPPING STONES	5/8" CON	CA
[Symbol]	PAV-11	FOUNTAIN BROOK	1.5" ASP	CA
[Symbol]	PAV-12	CONCRETE STAIRS	4/8" CON	CA
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[Symbol]	SF-3	HAND BAL	4.5x6.7x3.0	ST
[Symbol]	SF-4	PERIMETER FENCE	L311	CA
[Symbol]	W-1	1/2" HIGH CONCRETE SEAT WALL	1/4" ASP	CA
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[Symbol]	W-3	3"-0" WIDE CONCRETE WALL	1/4" ASP	CA
[Symbol]	W-4	ARROW FOUNTAIN WALL	L301, L302	WF
[Symbol]	W-5	CASCADE FOUNTAIN	L308	CA

NOTE:  
 REFER TO SHEET L002 FOR COMPLETE MATERIAL LEGEND.



Key Plan



Civil, Structural & Electrical Engineers



Landscaping Architects:  
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 500 P STREET  
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 602.497.2471



REVISIONS:	DATE:
NO. 01	06/12/07
NO. 02	07/13/07

DATE: JULY 13, 2007  
 PROJECT NO.: UPEN001  
 SHEET TITLE: OF

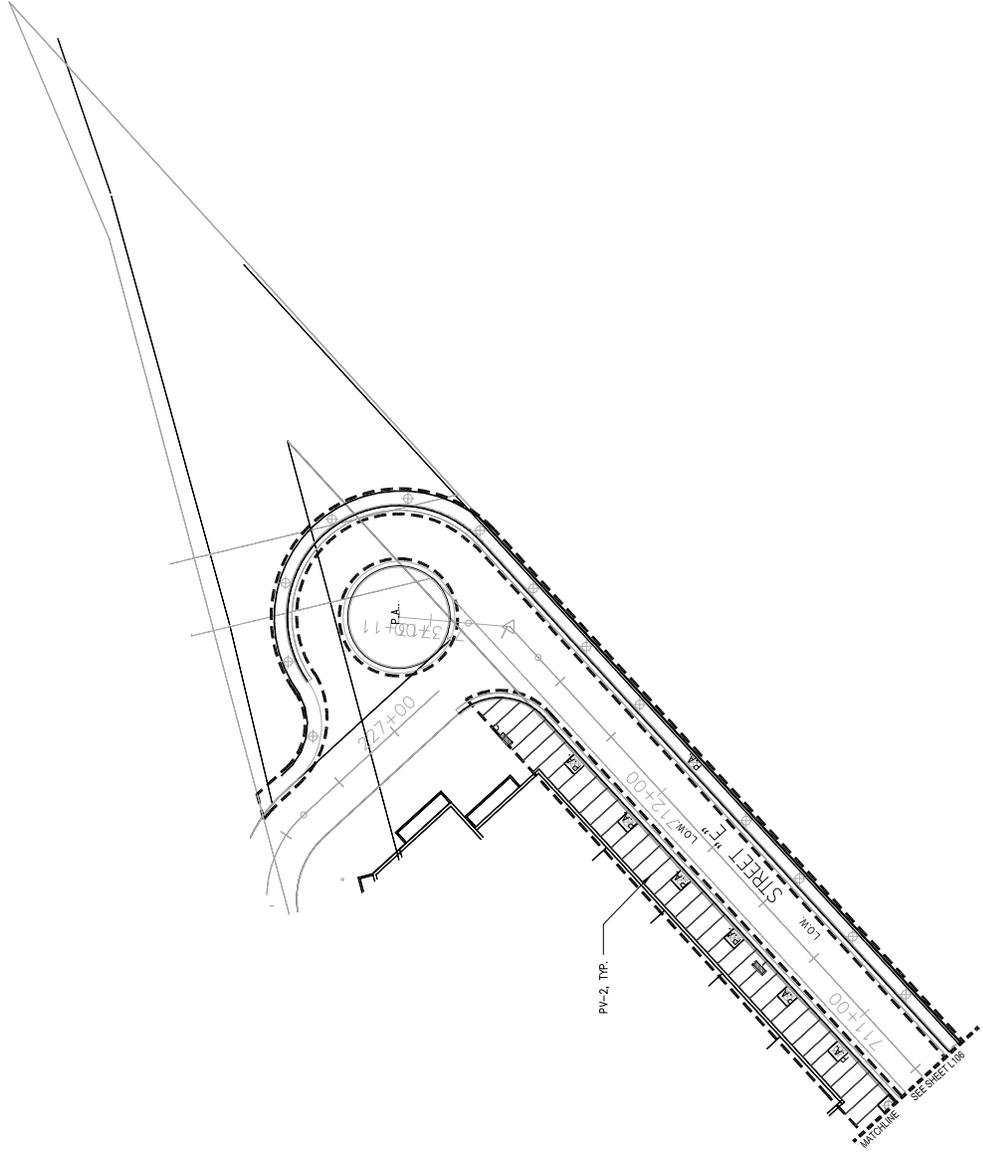
Handscape, Layout & Material Plan

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DRAWN BY:	AS, MM, MC
CHECKED BY:	AS, MM
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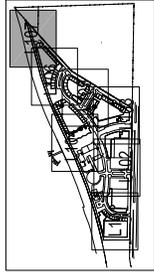


L107

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[Symbol]	PA-1	BRUSHED STONE PAVING	4.6/3.09	CA
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[Symbol]	PA-4	RETAIL PAVING "A"	1.34.6.6.2/A.3.09	CA
[Symbol]	PA-5	RETAIL PAVING "B"	1.34.6.6.2/B.3.09	CA
[Symbol]	PA-6	PERIMETER ENTRY PAVING	1.34.6.6.7/A.3.09	CA
[Symbol]	PA-7	GARDEN PAVING	1.34.6.6.7/B.3.09	PO
[Symbol]	PA-7A	PLAZA PAVING	2.5/1.3.09	UR
[Symbol]	PA-7B	PLAZA PAVING	2.5/1.3.09	UR
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[Symbol]	PA-8	COURTYARD PAVING	5/1.3.09	UR
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[Symbol]	PA-10	FOUNTAIN STEPPING STONES	1.34.6.6.7/E.3.09	MA
[Symbol]	PA-11	FOUNTAIN BROSSE	1.34.6.6.7/F.3.09	PE
[Symbol]	PA-12	CONCRETE STAIRS	4.6/3.09	CA
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[Symbol]	PA-14	PLANTER AGGREGATE MESH	9/1.6.09	UR
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[Symbol]	SP-2	TROUGH RECEPTACLE		UR
[Symbol]	SP-3	HAND RAIL	4.5.6.7/A.3.09	ST
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[Symbol]	W-1	12" HIGH CONCRETE SEAT WALL	1/A.3.09	CA
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[Symbol]	W-3	3'-0" HIGH CONCRETE WALL	1/A.3.09	CA
[Symbol]	W-4	ARROW FOUNTAIN WALL	L301, L302	W
[Symbol]	W-5	CASCADE FOUNTAIN	L308	CA



NOTE:  
 REFERS TO SHEET L003  
 FOR COMPLETE MATERIAL  
 LEGEND.



Key Plan



Civil, Structural & Electrical Engineers



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 (602) 944-1802

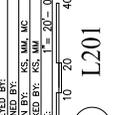
City of Tempe  
 DEPARTMENT OF PUBLIC WORKS  
 DIVISION OF ENGINEERING  
 P.O. BOX 6000 TEMPE, ARIZONA 85286



REVISIONS	DATE
60% REVIEW	05/24/07
90% CD	06/17/07
100% CD	07/13/07

DATE: JULY 13, 2007  
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 CHECKED BY: KS, ML, MC  
 SCALE: 1" = 20'-0"  
 SHEET TITLE: Planting Plan

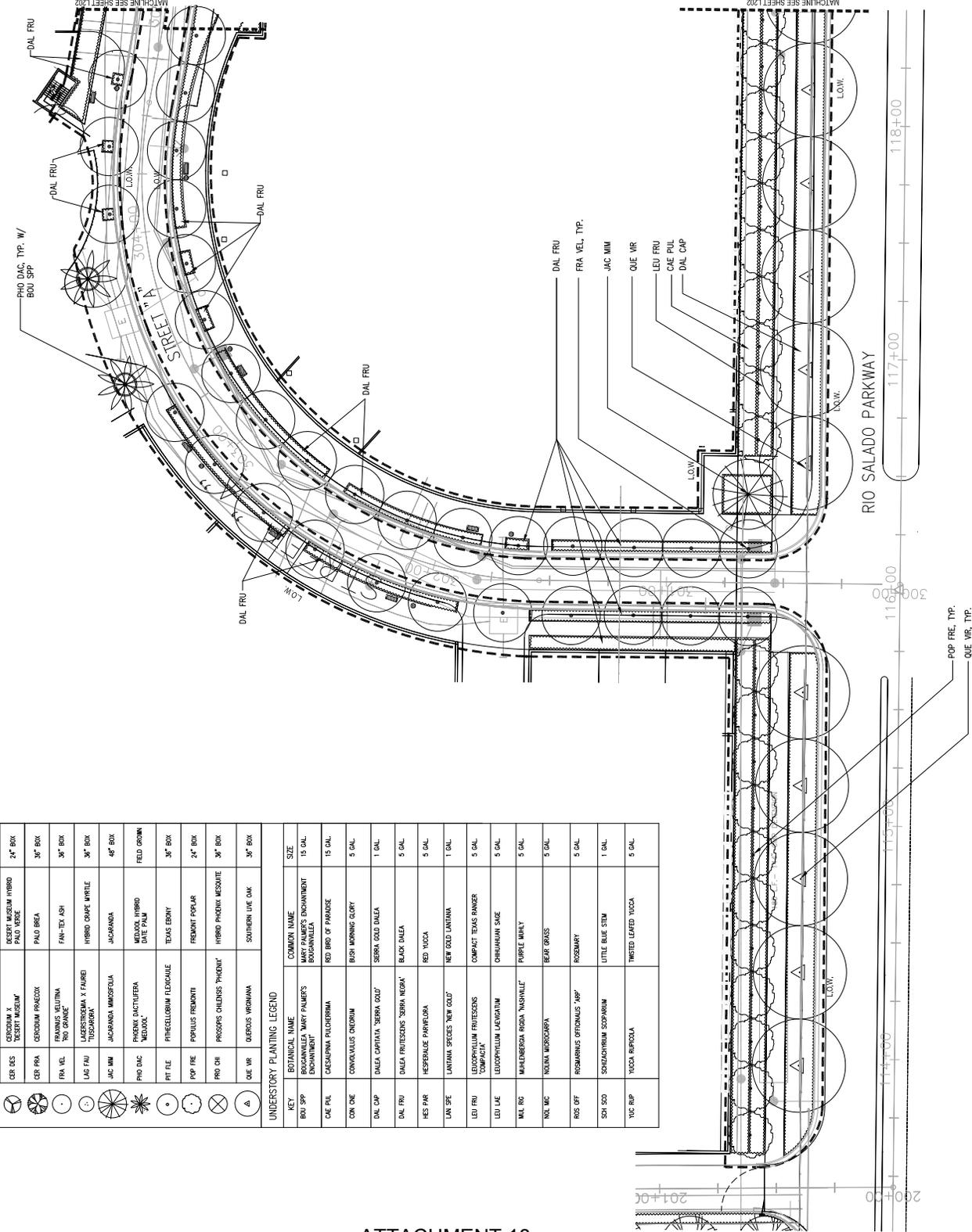
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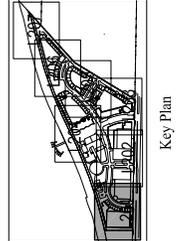
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE
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(Symbol)	CEP BES	CERESIA X TERSIT MUSEUM	CESTRI MUSEUM HYBRID PALM VERSE	2" BOX
(Symbol)	CEP FRA	CERESIA FRAZCOX	PALM BREA	3" BOX
(Symbol)	FRA VEL	FRAXINUS VELUTINA	FAN-TEX ASH	3" BOX
(Symbol)	LAG FAU	LACERTIDROMA X FAURO	HYBRID COMPE WITILE	3" BOX
(Symbol)	JAC MM	JACARANDA MIMOSOLA	JACARANDA	4" BOX
(Symbol)	PHO DAC	PHODENDRUM DACTYLOIDES	WAXY HYBRID PALM	FIELD GROWN
(Symbol)	PIT FILE	PIRICELEBURUM FLEXUALE	TEXAS EBONY	3" BOX
(Symbol)	POP FRE	POPULUS FREMONTI	FREMONT POPLAR	2" BOX
(Symbol)	PRO OH	PROSPERIS OHENSIS 'PHODIK'	HYBRID PHODIA MESQUITE	3" BOX
(Symbol)	QUE VR	QUERUS VIRGINIANA	SOUTHERN LIVE OAK	3" BOX

KEY	BOTANICAL NAME	COMMON NAME	SIZE
ROU SPP	BOGANVILLEA MARY PALMER'S ENCHANTMENT	MARY PALMER'S ENCHANTMENT BOGANVILLEA	15 GAL
CAE PUL	CASUARINA PALOHERBA	RED BIRD OF PARADISE	15 GAL
CON ONE	CONIVALLIS DENDRUM	BUSH MORNING GLORY	5 GAL
DAL QIP	DALEA CAPITATA 'SIERRA GOLD'	SIERRA GOLD DALEA	1 GAL
DAL FRU	DALEA FRUTESCENS 'SIERRA NEGRA'	BLACK DALEA	5 GAL
HES PAR	HEPERALBE PAVLOVIRA	RED YUCCA	5 GAL
LAV SFE	LANTANA SPECIES 'NEW GOLD'	NEW GOLD LANTANA	1 GAL
LEU FRU	LEUCOPHYLLUM FRUTESCENS COMPACTA	COMPACT TEXAS RANGER	5 GAL
LEU LAE	LEUCOPHYLLUM LAEVIGATUM	CHIHUAHUA SAGE	5 GAL
MUL RO	MULBERBERRIA RUBRA 'NASHVILLE'	PURPLE MULBERRY	5 GAL
YOL MC	YUCCA MORGANIANA	BEAR GRASS	5 GAL
ROS OF	ROSMARINUS OFFICINALIS 'AMP'	ROSEMARY	5 GAL
SON SDO	SONOCHASTRUM SCOPARIUM	LITTLE BLUE STEM	1 GAL
YUC SPP	YUCCA BREVIFLORA	TWISTED LEAFED YUCCA	5 GAL

UNDERSTORY PLANTING LEGEND



NOTE:  
 REFER TO SHEET L202 FOR PLANTING SPACING & NOTES.



Key Plan











A Project of:



Civil Structural & Electrical Engineers



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Laguna Beach, CA 92653  
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REVISIONS	DATE
06/12/07	06/12/07
07/13/07	07/13/07

DATE: JULY 13, 2007  
PROJECT NO: LPM001  
SHEET TITLE: 01

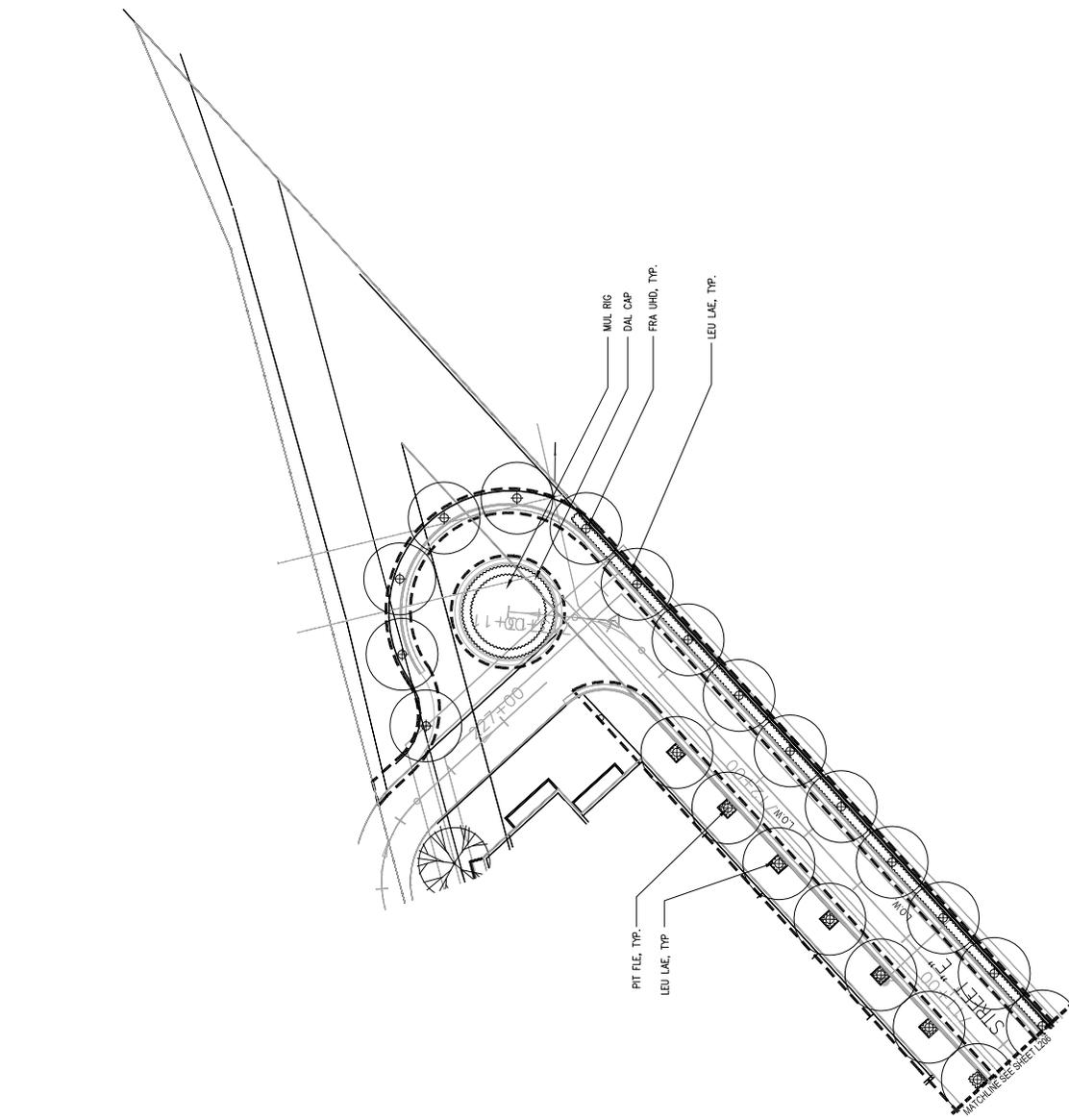
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DRAWN BY: KS, MM  
CHECKED BY: KS, MM  
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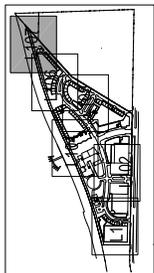
Planting Plan

TREE PLANTING LEGEND			
SYMBOL	KEY	COMMON NAME	CONTAINER SIZE
(C)	PC BEN	FOCUS BENJAMIN	36" BOX
(C)	CEP BES	SECREY MUSEUM HYBRID DESERT MUSEUM	24" BOX
(C)	CEP PRA	CERODIUM PRACOX	36" BOX
(C)	FRA VEL	FANNING VELUTINA TRO GRANGE	36" BOX
(C)	LAG PAU	LASSITERIANA X FAURD TISSARIBAY	36" BOX
(C)	JAC MM	JACARANDA MINISTOLA	48" BOX
(C)	PHO DAC	PHOENIX DACTYLIFERA MEDICAL	FIELD GROWN
(C)	PIT FILE	PRINCELLIUM FILEDALLE	36" BOX
(C)	POP PRE	POPULUS FREMONTI	24" BOX
(C)	PRO CH	PROSOPIS CHLORIS 'PROSNIK'	36" BOX
(C)	QUE VR	QUERUS VIRGINIANA	36" BOX

UNDERSTORY PLANTING LEGEND			
KEY	BOTANICAL NAME	COMMON NAME	SIZE
BOU SP	BOUQUILLIA MARY PALMER'S ENHANCEMENT	MARY PALMER'S ENCHANTMENT BOUQUILLIA	15 GAL
CAE PUL	CAESALPINIA PULCHERRIMA	RED BIRD OF PARADISE	15 GAL
CON ONE	CONVOLVULUS ONEIDRUM	BUSH MORNING GLORY	5 GAL
DAL CAP	DALEA CAPitata 'SIERRA GOLD'	SIERRA GOLD DALEA	1 GAL
DAL FRU	DALEA FROESCHII 'SIERRA NEGRA'	BLACK DALEA	5 GAL
HES PAR	HERPESALVE PARIFLORA	RED YUCCA	5 GAL
LAI SPE	LANTANA SPECIES 'NEW GOLD'	NEW GOLD LANTANA	1 GAL
LEU FRU	LEUCOPHYLLUM FRUTESCENS 'COMPACT'	COMPACT TEXAS RANGER	5 GAL
LEU LAE	LEUCOPHYLLUM LAEVIGATUM	CHRISTMAS SAGE	5 GAL
MUL RIG	MULLENBERGIA RIGIDA 'NASHVILLE'	PURPLE MULEY	5 GAL
NOL MIC	NOLINA MICROCARPA	BEAR GRASS	5 GAL
ROS OFF	ROSEMARINUS OFFICINALIS 'ASP'	ROSEMARY	5 GAL
SEN SOO	SCOPARIUM SCOPARIUM	LITTLE BLUE STEM	1 GAL
YUC RHP	YUCCA RUPICOLA	TWISTED LEAVED YUCCA	5 GAL



NOTE:  
REFER TO SHEET L002 FOR PLANTING SPACING & NOTES.



Key Plan

A Project of:



BARBER  
 PACIFIC  
 GROUP



LANDSCAPE ARCHITECTS  
 3100 W. WILLOW BLVD.  
 SUITE 100, PHOENIX, ARIZONA 85043  
 602.555.9800

City of Tempe  
 DIVISION OF ENGINEERING  
 PL. BOX 502, TEMPE, ARIZONA 85280

DATE: JULY 13, 2007  
 PROJECT NO.: LPM001  
 SHEET TITLE: 01

DATE: 06/12/07  
 DRAWN BY: KS, MML, MC  
 CHECKED BY: KS, MM  
 SCALE: AS SHOWN



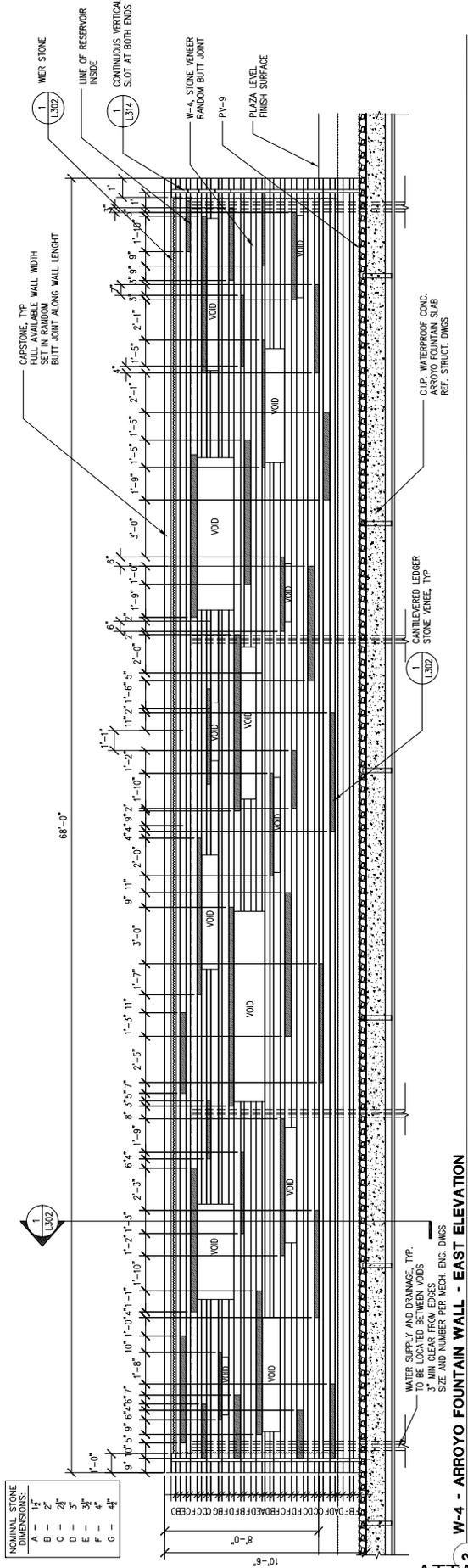
DATE: 07/13/07  
 DRAWN BY: KS, MML, MC  
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DATE: JULY 13, 2007  
 PROJECT NO.: LPM001  
 SHEET TITLE: 01

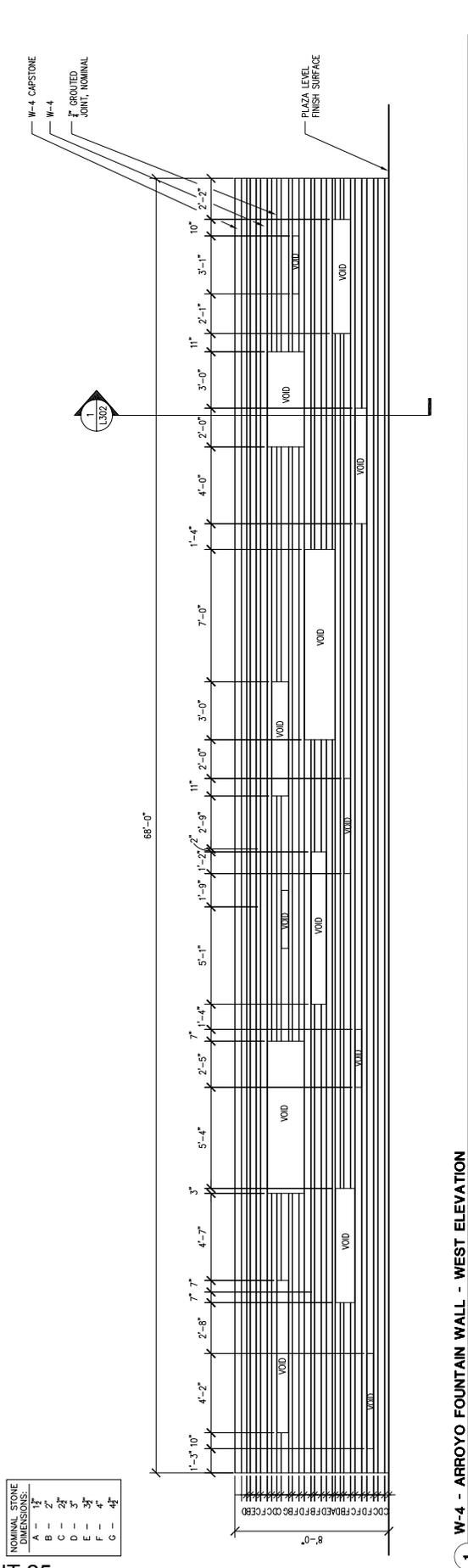
Atroyo Fountain  
 Wall Elevations

DATE: JULY 13, 2007  
 PROJECT NO.: LPM001  
 SHEET TITLE: 01

SCALE: AS SHOWN



1 W-4 - ARROYO FOUNTAIN WALL - EAST ELEVATION  
 SCALE: 3/8" = 1'-0"



2 W-4 - ARROYO FOUNTAIN WALL - WEST ELEVATION  
 SCALE: 3/8" = 1'-0"



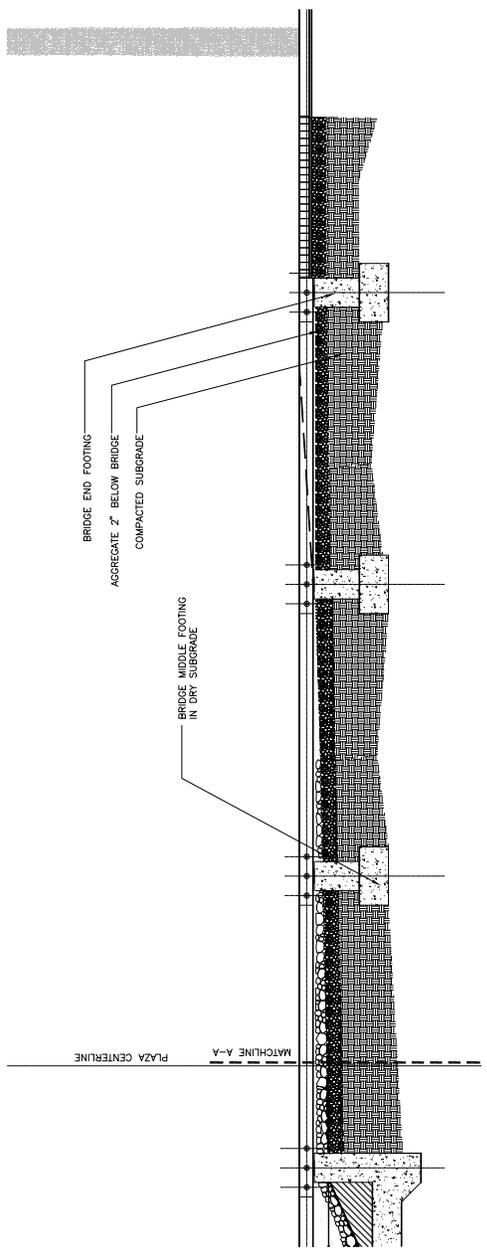




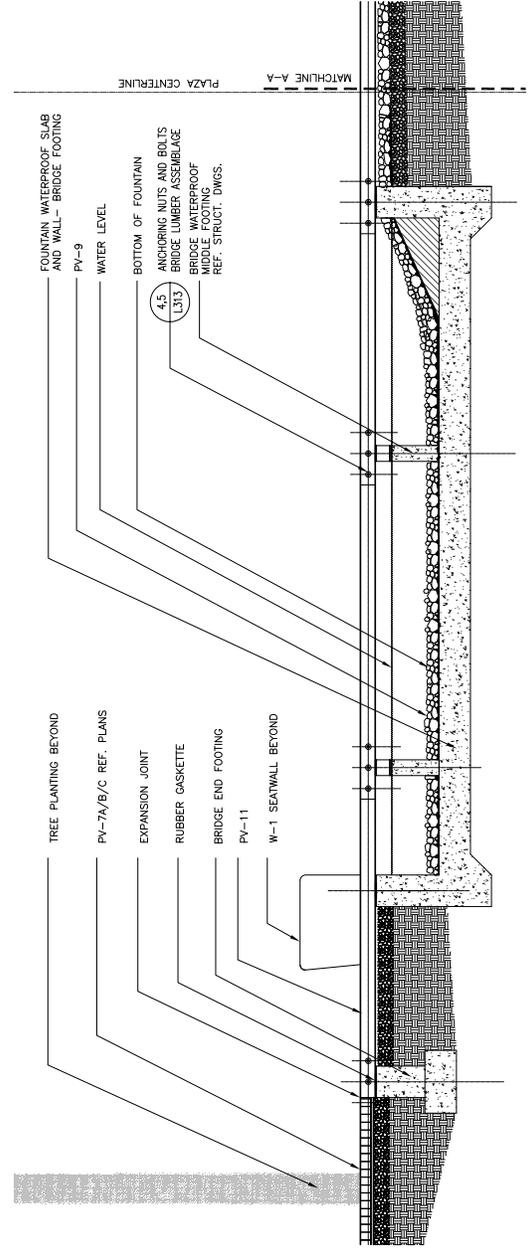
REVISIONS:	DATE
DATE REVIEW	06/24/07
DATE REVIEW	07/13/07
DATE REVIEW	07/13/07

DATE:	JULY 13, 2007
PROJECT NO.:	LPEN001
SHEET:	07
SHEET TITLE:	BRIDGE SECTIONS

DESIGNED BY:	AS, MM, MC
CHECKED BY:	AS, MM
SCALE:	AS SHOWN



2 SECTION F-F THROUGH BRIDGE - WEST  
 REF=C-F



1 SECTION F-F THROUGH BRIDGE - EAST  
 REF=C-F



A Project of:



Civil, Structural  
 & Electrical Engineers :



5100 W. WASHINGTON AVENUE, SUITE 100  
 DENVER, CO 80202  
 303.733.8800

Landscapes Architects :

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 DENVER, CO 80202  
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 303.733.8800

DEPARTMENT OF PUBLIC WORKS  
**City of Tempe**  
 DIVISION OF ENGINEERING  
 P.O. BOX 5000, TEMPE, ARIZONA 85280



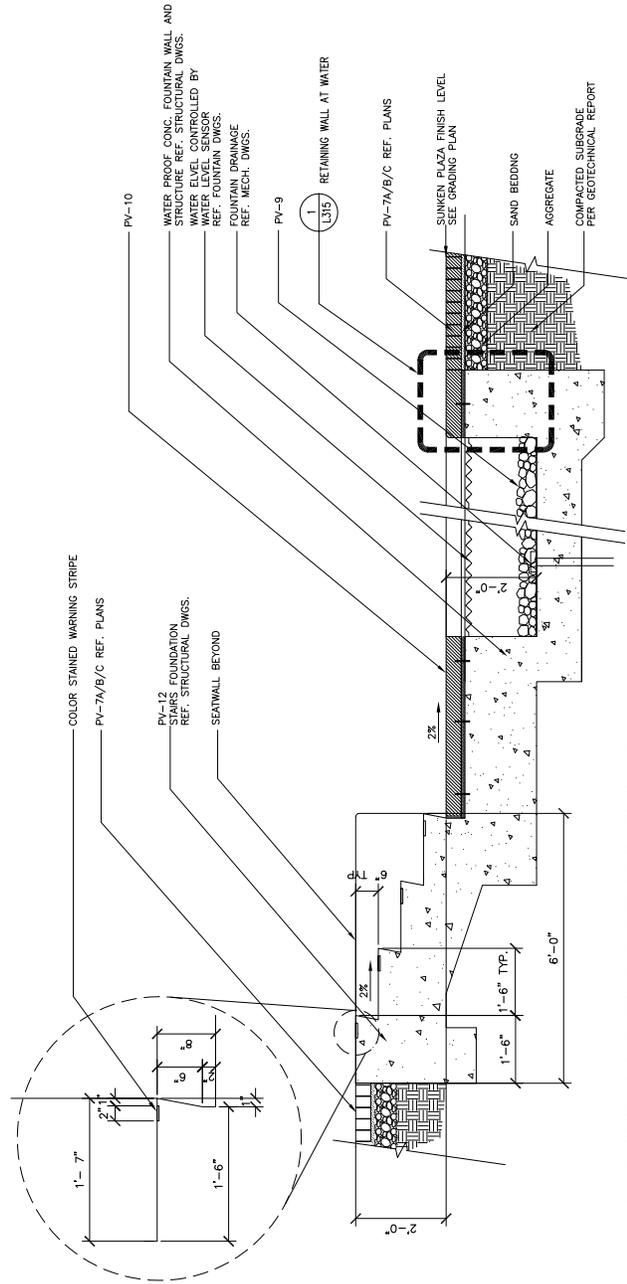
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FOR REVIEW	06/12/07
FOR CD	06/12/07
FOR CD	07/13/07

DATE: JULY 13, 2007  
 PROJECT NO.: LPM001  
 SHEET NO.: 01  
 SHEET TITLE:

SUBMITTED BY: KS, MM, MC  
 DRAWN BY: KS, MM, MC  
 CHECKED BY: KS, MM  
 SCALE: AS SHOWN

Stair and Fountain  
 Details

1 SECTION D-D THROUGH STEPS AT CASCADE FOUNTAIN  
 SCALE: 3/4" = 1'-0"



UNIVERSITY MICROFILMS INTERNATIONAL

A Project of:



Civil, Structural  
 & Electrical Engineers



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CITY OF TEMPE  
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 400 N. GILBERT  
 TEMPE, ARIZONA 85281



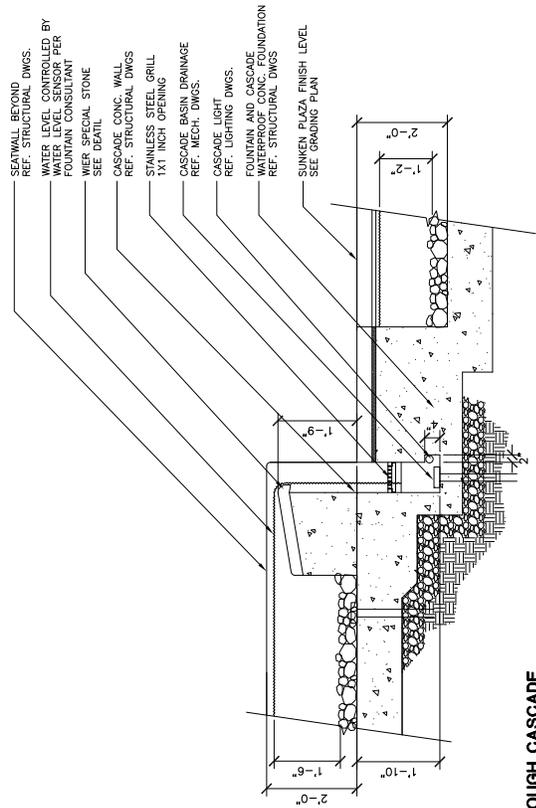
REVISES:	DATE
REV. 01	05/04/07
REV. 02	06/12/07
REV. 03	07/13/07

DATE:	JULY 13, 2007
PROJECT NO.:	05
SHEET TITLE:	05

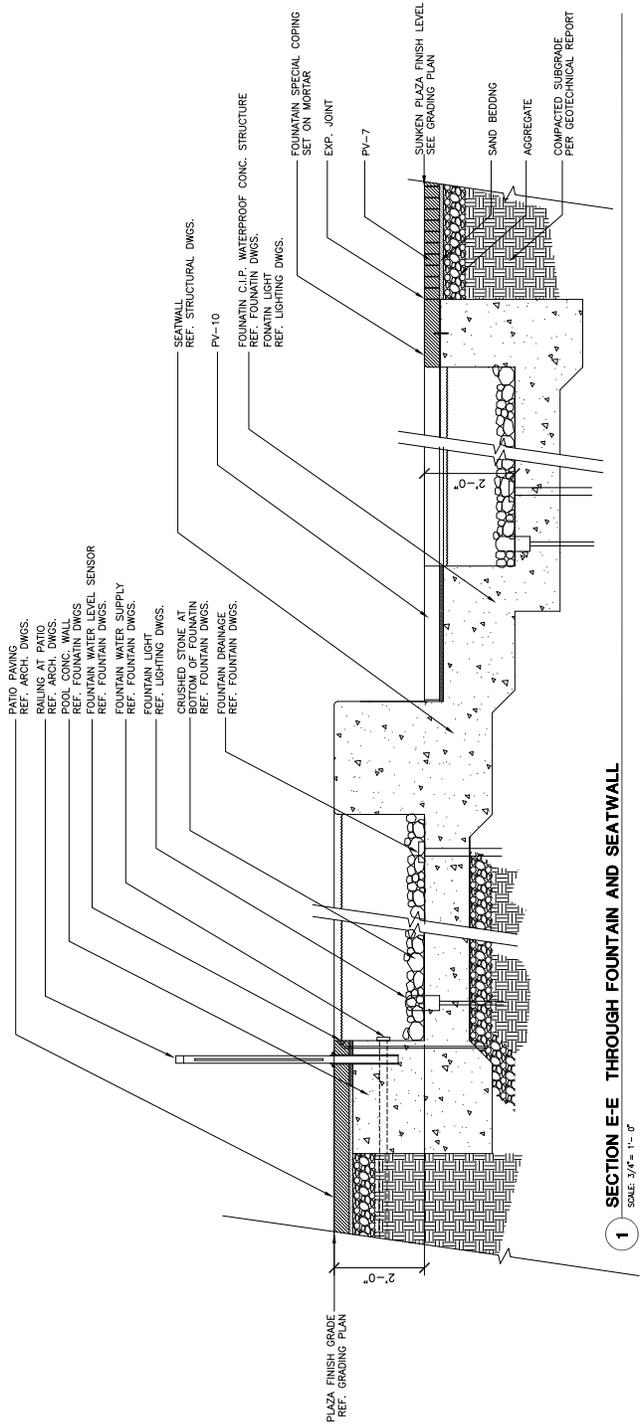
Cascade Fountain  
 Details

DESIGNED BY:	KS, MM, MC
DRAWN BY:	KS, MM, MC
CHECKED BY:	KS, MM
SCALE:	AS SHOWN

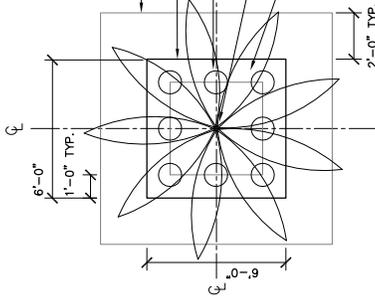
L308



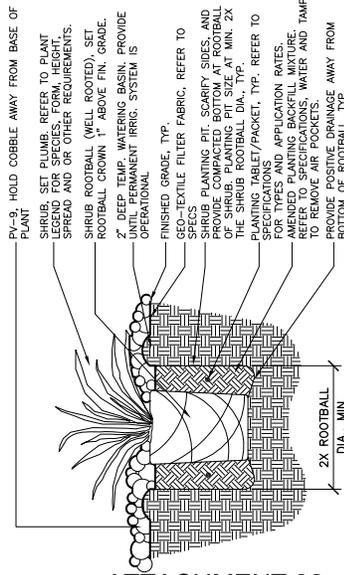
2 SECTION F-F THROUGH CASCADE  
 SCALE: 3/4" = 1'-0"



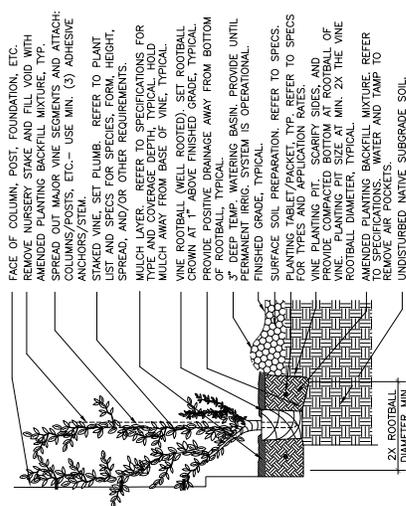
1 SECTION E-E THROUGH FOUNTAIN AND SEATWALL  
 SCALE: 3/4" = 1'-0"



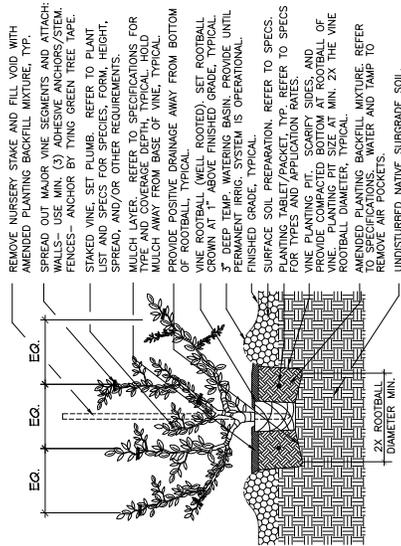
6 PLAZA PALM PLANTERS - PLAN  
SCALE 3/8" = 1'-0"



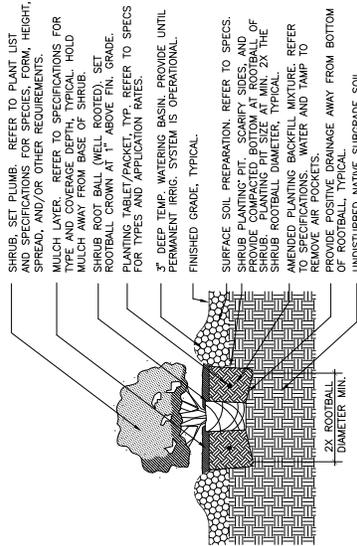
8 SHRUB PLANTING AT PEBBLE



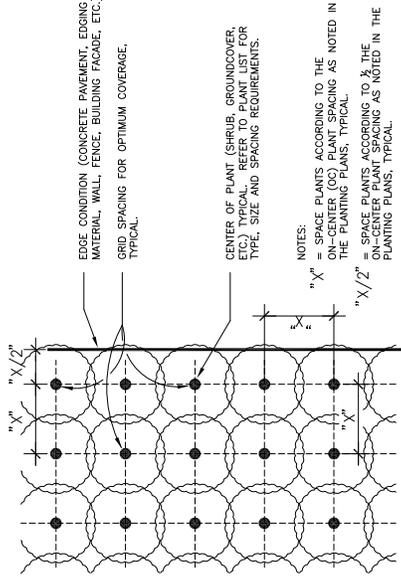
7 VINE PLANTING



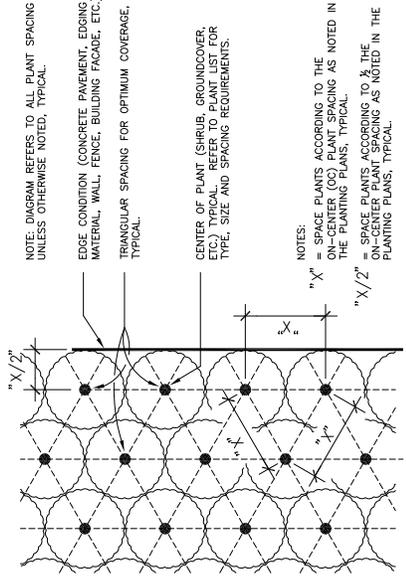
6 VINE PLANTING AT WALL/FENCE



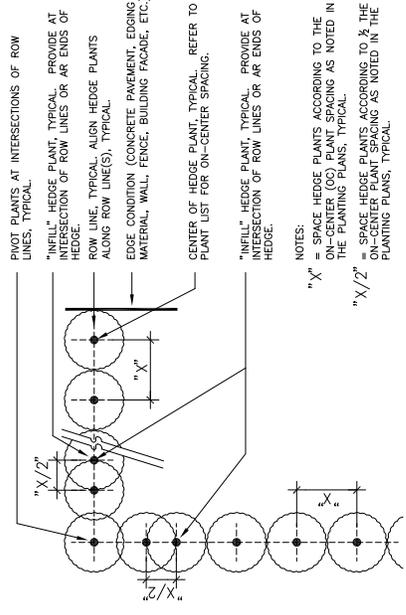
5 SHRUB PLANTING



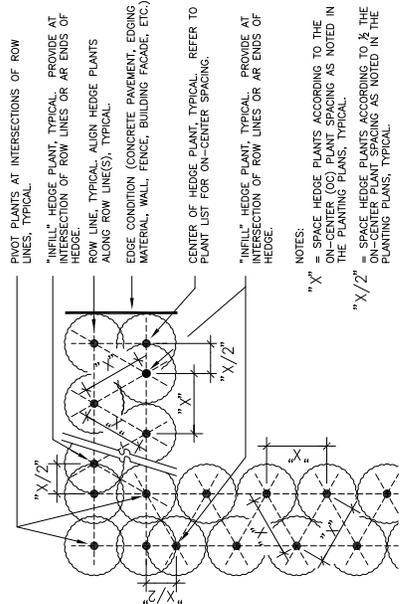
3 GRID SPACING DIAGRAM



2 TRIANGULAR SPACING DIAGRAM



1 HEDGE SPACING DIAGRAM - SINGLE ROW



4 HEDGE SPACING DIAGRAM - MULTIPLE ROWS